



LAZY K APPLICATION PACKET INFORMATION

TIMELINE:

- June 6th, 2022: Applications open
- June 16th, 2022: Community Information Night
- June 26th, 2022: Open House
- July 8th, 2022: Applications for ***PHASE ONE ONLY*** close
- July 22nd, 2022: Lottery
- July 29th, 2022: Lottery Winners go under contract (subject to change)

UNIT INFORMATION

- Lot 1 \$427,473 (140% AMI) 782 sq ft 2bd/1bth Washer/ Dryer Hookups
- Lot 4 \$268,271 (80%AMI) 744 sq ft 2bd/1bth Washer/ Dryer Hookups
- Lot 6 \$268,271 (80% AMI) 744 sq ft 2bd/1bth Washer/ Dryer Hookups
- Lot 8 \$268,271 (80% AMI) 744 sq ft 2bd/1bth Washer/ Dryer Hookups
- Floor plans, site plans, landscaping plans, and appliance package is included in the application packet

ELIGIBLE BUYER INFORMATION

- **Ownership** – natural persons only for 80% AMI lots (business can purchase 140% AMI lot)
- **Occupancy** – must be your primary residence at all times during your ownership unless you are a business purchasing Lot 1. Businesses can rent to tenants approved through GVRHA.
- **Assets** – you cannot own any other improved residential real estate at the time of closing; liquid assets cannot exceed three (3) times your household-size AMI after closing on your new home.
- **Employment** – must be employed at minimum 30 hours/week on an annual basis for a business located in and serving Gunnison County, or, have a bona fide employment contract to begin such work prior to taking ownership. Eighty percent (80%) of the qualifying owner's income must come from this source and seventy-five (75%) of the total household income used to qualify must be earned within the county
- **Income** - for this Lots 4, 6, 8 households must be at or below 80% of Gunnison County's 2022 Area Median Income (AMI) as published by HUD and provided to the GVRHA to be eligible to purchase a home, for Lot 1 households must be at or below 140% of Gunnison County's 2022 Area Median Income (AMI).
 - 1 person HH 80% AMI \$49,600 Max Gross Income
 140% AMI \$86,800
 - 2 person HH 80% AMI \$56,650 Max Gross Income
 140% AMI \$99,120
 - 3 Person HH 80% AMI \$63,750 Max Gross Income
 140% AMI \$111,580



- **Lottery Entries** – Households and businesses that can produce a Certificate of Eligibility provided through the GVRHA will be awarded one lottery ticket

OTHER RESTRICTIONS

- **Resale** – each home will be subject to an appreciation cap upon resale that is the sum of:
 - 2% of the initial purchase price, plus
 - The value of any special improvement district assessments levied upon the property and paid, plus
 - The value of any capital improvements permitted to be made
- **Rentals** – owners of these homes may have roommates if at least one owner still always meets the terms of an eligible owner. Businesses can rent to approved employees with approval coming from the GVRHA.
- **Short-term rentals** – are not allowed at any time for any reason or for any portion of a home
- **Financing** – homes may not be purchased with financing that is for more than 100% of the purchase price
- **Refinancing** – homes may not be refinanced with financing that exceeds 97% of the then-current maximum resale price as permitted by the deed restriction

LOTTERY PROCESS

- The selection process for 80% AMI lots will be as follows
 - At the time of the Lottery, all entries awarded to each applicant household will be placed in one bin. An independent third-party individual will draw tickets from the bin one at a time.
 - First qualified applicant name is drawn from the lottery bin – this applicant will then select which specific home they want to put under contract
 - Second qualified applicant name is drawn from the lottery bin – this applicant will then select which specific home they want to put under contract
 - This process will continue until all available homes are selected
 - Tickets for eligible applicants who are not drawn to select a home will be pulled and names added to a back-up list to be used if a selected buyer terminates their contract with the developer.
- The selection process for 140% AMI lot will be as follows:
 - At the time of the Lottery, all entries awarded to each applicant household and business will be placed in one bin. An independent third-party will draw a ticket from the bin one at a time.
 - First qualified applicant name that is drawn will be awarded Lot 1



GUNNISON VALLEY REGIONAL HOUSING AUTHORITY

- The process for securing a home and executing a contract is as follows:
 - Selected applicants will have 3 business days to execute a real estate purchase contract with the developer for the home they have selected. If they do not do so, the first back-up applicant will be given a 3-business day opportunity to execute a contract with the developer to purchase the home. If they fail to do so, the next back-up applicant will be notified.
 - Lottery winners must provide a \$1000 earnest money deposit to the title company at the time of executing the purchase contract which will be credited towards their purchase price at the time of closing.
- The process for closing on your home and obtaining title will occur once the City has received a (Temporary) Certification of Occupancy; you will be notified as soon as possible in advance of that anticipated date.

REASONABLE ACCOMODATION

- Please contact GVRHA if reasonable accommodation is requested at (970) 641 7900

If you have any questions about these procedures, please contact Lauren at the GVRHA immediately (lwoodyard@gvrha.org).



OWNERSHIP APPLICATION PACKET FOR INDIVIDUALS

DATE & TIME RECEIVED: _____

RECEIVED BY: _____

DEED RESTRICTED APPLICATION CHECKLIST FOR GUNNISON VALLEY REGIONAL HOUSING AUTHORITY

Applicant Name(s):

Property Address (if applicable):

Below is a list of all of the supporting documents in the order in which we will need them with your application.

- **Most two recent years of federal tax returns**
- **Most two recent years of W-2's and/or 1099's**
- **Two most recent pay stubs from each current employer**
- **Proof of 12 months residency within Gunnison County**
- **Most recent three months bank statements for all accounts *(please include ALL pages)***
- **Copy of state issued photo ID**
- **Lending statement from lender for anticipated loan amount**

Please attach this form on the top of your application package with all documents in the order in which they are listed above. It can take up to two weeks to determine eligibility on your file. You will be notified via email of your eligibility.

COVER PAGE



OWNERSHIP APPLICATION PACKET FOR BUSINESSES

DATE & TIME RECEIVED: _____

RECEIVED BY: _____

DEED RESTRICTED APPLICATION CHECKLIST FOR GVRHA- BUSINESS

Applicant Name(s):

Property Address (if applicable):

Below is a list of all the supporting documents in the order in which we will need them with your application.

- **Year to date profit detailed report**
- **Previous year end budget to actuals**
- **List of employees on payroll**
- **Local business license**
- **Lender letter**

Please attach this form on the top of your application package with all documents in the order in which they are listed above. It can take up to two weeks to determine eligibility on your file. You will be notified via email of your eligibility.

COVER PAGE



OWNERSHIP APPLICATION PACKET

Please submit application packets to GVRHA via mail or in person. Applications can take up to 2 weeks to process. Please make sure you have **ALL** of your documents submitted. The information provided will be used by GVRHA to qualify buyers for deed restricted housing. This is confidential and will remain in a secured area.

APPLICANT 1 DETAILS	
NAME:	DATE OF BIRTH:
PHONE:	MARITAL STATUS: MARRIED / SEPARATED / UNMARRIED
EMAIL:	DEPENDANTS: #: DEPEND. AGE:
MAILING ADDRESS:	PHYSICAL ADDRESS: RENT/OWN #YEARS:
	RENT AMOUNT/ MONTH:

EMPLOYMENT DETAILS : CURRENT EMPLOYER 1		SELF EMPLOYED: YES / NO
NAME:	# HOURS / WEEK:	
PHONE:	# WEEKS / YEAR:	
EMAIL:	EMPLOYER ADDRESS:	
POSITION:		
START DATE:		
END DATE:		

EMPLOYMENT DETAILS : EMPLOYER 2		SELF EMPLOYED: YES / NO
NAME:	# HOURS / WEEK:	
PHONE:	# WEEKS / YEAR:	
EMAIL:	EMPLOYER ADDRESS:	
POSITION:		
START DATE:		
CURRENTLY EMPLOYED?		

PLEASE PROVIDE TWO YEARS OF RENTAL AND EMPLOYMENT HISTORY FOR EACH APPLICANT. APPLICANTS APPLYING TOGETHER WILL BE PROCESSED AS ONE HOUSEHOLD, NO ONE APPLICANT HOLDS MORE WEIGHT OVER THE OTHER.

NOTES:



APPLICANT 1 NAME: _____

GROSS MONTHLY INCOME INFORMATION

GROSS MONTHLY INCOME SOURCE	AMOUNT OF GROSS MONTHLY INCOME RECIEVED (\$)
PRIMARY JOB INCOME / MONTH	
OVERTIME	
BONUSES	
COMMISSION	
DIVIDEDS / INTEREST	
RETIREMENT	
NET RENTAL INCOME	
ADDITIONAL JOB INCOME	
TOTAL	

**OTHER INCOME: DESCRIBE ALL OTHER INCOME BELOW (ALIMONY, CHILD SUPPORT, PENSION, ANNUITIES, RETIREMENT BENEFITS, PUBLIC ASSISTANCE, UNEMPLOYMENT, VETERANS BENEFITS, TRUSTS, LOTTERY WINNINGS, ETC.)*

SOURCE DESCRIPTION:	MONTHLY GROSS INCOME
	TOTAL

ASSET INFORMATION

DESCRIPTION OF ASSET	INSTITUTION WHERE HELD	CASH VALUE
CHECKING		
CHECKING		
SAVINGS		
SAVINGS		
STOCKS & MUTUAL FUNDS		
CERTIFICATES OF DEPOSIT		
ASSESSED VALUE OF REAL ESTATE OWNED		
		TOTAL
IRA/ 401K/ RETIREMENT		
NET VALUE OF BUSINESS OWNED		



APPLICANT 1 NAME: _____

PROPERTY OWNED

PROPERTY ADDRESS	TYPE OF PROPERTY	ASSESSOR'S VALUE	GROSS MONTHLY RENTAL INCOME
			MORTGAGE PAYMENT
			TAXES/ INSURANCE/ HOA EXPENSES
			NET RENTAL INCOME

SOURCE OF FUNDS FOR DOWN PAYMENT:



OWNERSHIP APPLICATION PACKET

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APPLICANT 2 DETAILS	
NAME:	DATE OF BIRTH:
PHONE:	MARITAL STATUS: MARRIED / SEPERATED / UNMARRIED
EMAIL:	DEPENDANTS: #: DEPEND. AGE:
MAILING ADDRESS:	PHYSICAL ADDRESS: RENT/OWN #YEARS:
	RENT AMOUNT/ MONTH:

EMPLOYMENT DETAILS : CURRENT EMPLOYER 1		SELF EMPLOYED: YES / NO
NAME:	# HOURS / WEEK:	
PHONE:	# WEEKS / YEAR:	
EMAIL:	EMPLOYER ADDRESS:	
POSITION:		
START DATE:		

EMPLOYMENT DETAILS : EMPLOYER 2		SELF EMPLOYED: YES / NO
NAME:	# HOURS / WEEK:	
PHONE:	# WEEKS / YEAR:	
EMAIL:	EMPLOYER ADDRESS:	
START DATE:		
END DATE:		
CURRENTLY EMPLOYED?		

PLEASE PROVIDE TWO YEARS OF RENTAL AND EMPLOYMENT HISTORY FOR EACH APPLICANT. APPLICANTS APPLYING TOGETHER WILL BE PROCESSED AS ONE HOUSEHOLD, NO ONE APPLICANT HOLDS MORE WEIGHT OVER THE OTHER.

NOTES:



APPLICANT 2 NAME: _____

GROSS MONTHLY INCOME INFORMATION

GROSS MONTHLY INCOME SOURCE	AMOUNT OF GROSS MONTHLY INCOME RECEIVED (\$)
PRIMARY JOB INCOME / MONTH	
OVERTIME	
BONUSES	
COMMISSION	
DIVIDENDS / INTEREST	
RETIREMENT	
NET RENTAL INCOME	
ADDITIONAL JOB INCOME	
TOTAL	

**OTHER INCOME: DESCRIBE ALL OTHER INCOME BELOW (ALIMONY, CHILD SUPPORT, PENSION, ANNUITIES, RETIREMENT BENEFITS, PUBLIC ASSISTANCE, UNEMPLOYMENT, VETERANS BENEFITS, TRUSTS, LOTTERY WINNINGS, ETC.)*

SOURCE DESCRIPTION:	MONTHLY GROSS INCOME
	TOTAL

ASSET INFORMATION

DESCRIPTION OF ASSET	INSTITUTION WHERE HELD	CASH VALUE
CHECKING		
CHECKING		
SAVINGS		
SAVINGS		
STOCKS & MUTUAL FUNDS		
CERTIFICATES OF DEPOSIT		
ASSESSED VALUE OF REAL ESTATE OWNED		
		TOTAL
IRA/ 401K/ RETIREMENT		
NET VALUE OF BUSINESS OWNED		



APPLICANT 2 NAME: _____

PROPERTY OWNED

PROPERTY ADDRESS	TYPE OF PROPERTY	ASSESSOR'S VALUE	GROSS MONTHLY RENTAL INCOME
			MORTGAGE PAYMENT
			TAXES/ INSURANCE/ HOA EXPENSES
			NET RENTAL INCOME

SOURCE OF FUNDS FOR DOWN PAYMENT:



ACKNOWLEDGEMENT OF RESTRICTIVE COVENANT/ DEED RESTRICTION

APPLICANT NAME: _____

MAILING ADDRESS _____

APPLICANT NAME: _____

SUBDIVISION APPLYING FOR _____

☐ I/ We (at least one owner occupant of the above-mentioned property) will work year-round within Gunnison County and earn up to 80% of gross household income within Gunnison County while occupying this home. Such occupant cannot earn more than 80% of AMI at the time of closing.

OR

☐ I/ We as owner of the above-mentioned property will own a business that meets the definition of Gunnison County Employer as defined in the applicable Housing Guidelines.

AND

☐ I/ We have read the Deed Restriction. I/We understand in particular the Ownership Limitations, Maximum Resale Price, and Remedies sections, their implications, and am willing to abide by all covenants contained in the Deed Restriction.

☐ I/ We agree to complete and 'affidavit of compliance' **EACH YEAR** we own this property. This affidavit will come from GVRHA, and I/we agree to complete and return it to GVRHA on a yearly basis. (This is known as the 'Deed Monitoring' process)

AFFIRMATION

I, the undersigned, hereby declare, under penalty of perjury, that the information provided in this Acknowledgement is true and correct.

Signature

Date

Signature

Date



EQUAL
HOUSING
OPPORTUNITY



CERTIFICATION AND CONSENT

CONSENT TO RELEASE INFORMATION

I/We authorize representatives from Gunnison Valley Regional Housing Authority (GVRHA) to receive information from employers and financial institutions listed in this application. I authorize representatives from the GVRHA to inspect and reproduce documentation provided with this application for purposes of determining my/our eligibility to purchase or occupy deed-restricted properties within the GVRHA jurisdiction.

I/We authorize the representatives from Gunnison Valley Regional Housing Authority (GVRHA) to conduct a full public record search with the purpose of determining my/our eligibility to purchase or occupy deed-restricted properties within the GVRHA jurisdiction.

I/We release all representatives of the GVRHA from any and all liability arising from an employer's or financial institution's release of my information requested for this purpose. This authorization is limited solely to the processing of my/our application to purchase deed-restricted housing in Gunnison County.

I/We understand that completion of this application does not guarantee that my/our application will be approved.

Signature

Date

Signature

Date

EQUAL OPPORTUNITY: *In accordance with the provisions of the Equal Opportunity Act there will be no discrimination against applicant for these benefits on the basis of race, color, religion, sex (including pregnancy, gender identity, and sexual orientation), national origin, age (18 or older), disability, or genetic information.*

CONFIDENTIALITY: *To process an application the GVRHA may supply and receive information as detailed in the "Consent to Release Information" clause above. Information may also be released to comply with the auditing requirements of program funders or grantors. With these two exceptions, all personal and identifying information contained within an application remains fully confidential.*



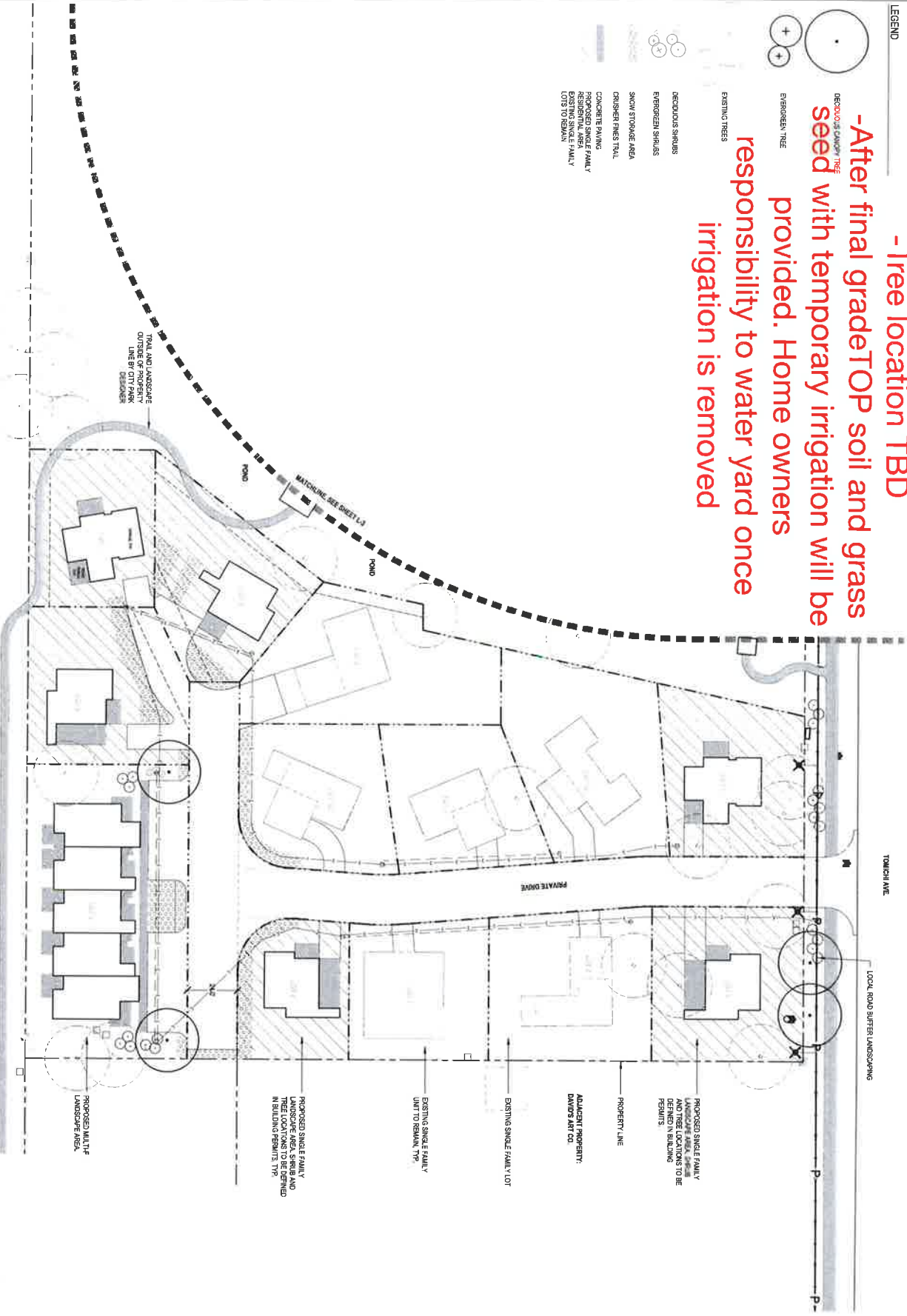
EQUAL
HOUSING
OPPORTUNITY

LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREE
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- SNOW STORAGE AREA
- CRUISER PINES TRAIL
- CONCRETE PAVING
- PROPOSED SINGLE FAMILY RESIDENTIAL AREA
- PROPOSED SINGLE FAMILY LOT TO REMAIN

-Tree location TBD

-After final grade TOP soil and grass seed with temporary irrigation will be provided. Home owners responsibility to water yard once irrigation is removed



LAZY K HOUSING
CITY OF GUNNISON

OWNER

NOT FOR
CONSTRUCTION

DATE
02/22/21 SUBDIVISION
APPLICATION - 01

SHEET TITLE
LANDSCAPE
PLAN

L-3

NORRIS DESIGN

1000 E. 1000 S.
SALT LAKE CITY, UT 84143
801.464.1111
www.norrisdesign.com



specialtyappliance
buy smarter

www.BUYFROMSA.com

Cabin - Lot 8

Lazy K Development

Naomi Rachev

naomi@buyfromsa.com

i REMINDER: To ensure a smooth project it is the responsibility of the homeowner / purchaser of appliances for this project to share all the attached specifications to ensure the cabinet provider, contractor, or any other tradesperson have all the information required to complete their work accurately.

Specifications are subject to change. If any tradesperson has questions regarding the attached specifications please contact our sales associate.



specialtyappliance
buy smarter

Guidelines for the **Best** Experience

- Orders are initiated by a deposit. Full payment is required to schedule delivery and installation. There is typically a 2-3 week lead time for scheduling installation services. Please plan accordingly.
- Special Order items require a 100% deposit and are non-returnable and non-refundable. Your Sales Associate will identify what products (if any) are considered Special Order items.
- It is the Purchaser's responsibility to ensure that the site is Spec-Ready. Spec Ready means that the site is prepared in exact accordance with the manufacturer's specification as provided. If the site is not Spec-Ready, we will not be able to complete your installation as planned. It is the purchaser's responsibility to contract other needed professional services (carpenter, plumber, HVAC, electrician, etc.).
- Specialty Appliance needs open and safe access to and on your property to execute a successful delivery and install. Walkways must be clean of debris and/or snow and at least 3 ft. wide. Our Teams need an unobstructed path from the point of entrance to the final delivery location. Please advise your Sales Associate if your property has any unique obstructions that might make it difficult to facilitate the delivery (Like narrow stairs, stairs more than one story high, uneven terrain, low ceilings, etc.).
- There is a national shortage of appliances. The E.T.A.'s we get from manufacturers are rarely accurate and will likely change many times. We will do our best to keep you informed but due to the number of orders and corresponding changes- we simply cannot advise you of every change.
- Specialty Appliance will accept returns on normally stocked items within 30 days of the initial delivery date (Special Order items are non-returnable). Returned product is subject to a restocking fee.
- The appliances sold by Specialty Appliance are warranted by the respective manufacturer- not Specialty Appliance. Specialty Appliance does warrant our installation services for 1 full year.
- Our Customer Service team is here to help facilitate service as needed within the manufacturer's warranty.
- Orders must be paid in full in order to be scheduled for delivery/install.
- Cosmetic damage issues must be reported within 24 hours of the delivery. Specialty Appliance will not accept any liability for cosmetic issues reported more than 24 hours after a delivery.
- Specialty Appliance will confirm your anticipated target dates for delivery. Specialty Appliance cannot hold merchandise for more than 30 days. You may need to make storage arrangements if your project is delayed more than 30 days from your confirmed target date.

Refer to www.buyfromsa.com/terms-and-conditions for complete terms and conditions

Thank you for choosing Specialty Appliance!



Cabin - Lot 8

Lazy K Development

1313 W Tomichi

Gunnison, CO 81230

Phone: (903) 330-1062 Phillip

<i>Models</i>	<i>Pages</i>
NE63A6311SS Samsung Range	4-5
ME17R7021ES/AA Samsung Microwave	6-7
DW80R2031US Samsung Dishwasher	8-9
RT21M6215SR/AA Samsung Refrigeration	10-11



Specialty Appliance

buyfromsa.com

Naomi Rachev

970-223-2098

Order **FO04022002**

Version 1.1

Sat, Apr 2, 2022

2:17 PM MDT



enterprise.steelcod.com/sp/saco/CRQUEUEFE

Note about page numbers:

Because the original manufacturer's documents are not altered in any way, the page numbers displayed on the page may not correspond to the page number within this package.

All specifications are intended for initial planning purposes only.

Manufacturers reserve the right to change specifications at any time without notice. Always consult the installation instructions found on the manufacturer's website or included with the appliances before installation.

NE63A6311SS

SAMSUNG

Samsung Smart Freestanding Electric Range with Rapid Boil™ & Self Clean

6.3 cu. ft. Capacity



Signature Features

Large Oven Capacity

- This large 6.3 cu. ft. oven can fit multiple dishes at one time.

Rapid Boil™

- Boil water fast with the 3300 W Rapid Boil™ burner.

Easy to Clean

- Self and Steam Clean keep your oven spotless. The hidden bake element makes cleaning your oven easy with a seamless cavity interior.

Available Colors



Stainless Steel (shown)



Fingerprint Resistant
Black Stainless Steel



Large Oven Capacity



Rapid Boil™

Features

- Stainless Steel Design
- Large Oven Capacity – 6.3 cu. ft.
- Rapid Boil™ 3300 W
- Extra Oven Settings - Bread Proof, Favorite Cook, Keep Warm
- Storage Drawer
- Flexible Cooktop:
 - Five Burner Cooktop
 - Two Dual Ring Burners (6"/9")
 - Two Single Burners (6")
 - Warming Center

Convenience

- Wi-Fi Connectivity
- Voice-Enabled
- SmartThings Cooking
- Self & Steam Clean
- Hidden Bake Element
- Sabbath Mode
- Child Safety Lock
- Delay Start
- Auto Oven Light
- Kitchen Timer



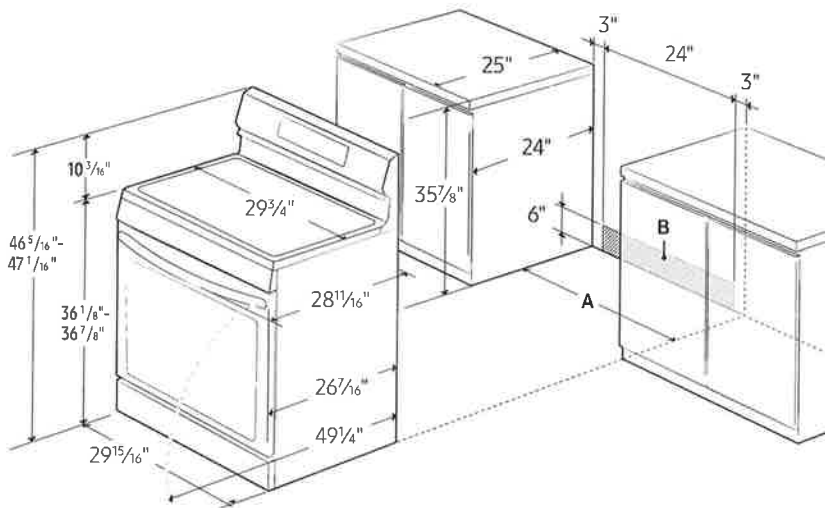
NE63A6311SS

SAMSUNG

Samsung Smart Freestanding Electric Range with Rapid Boil™ & Self Clean

6.3 cu. ft. Capacity

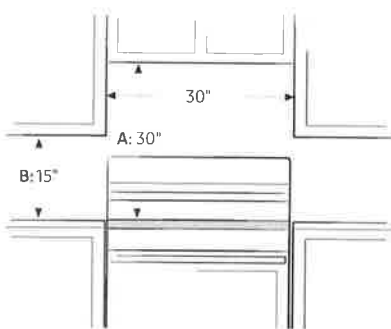
Installation Specifications



A: Cabinet opening min 30"

B: Acceptable electrical outlet area

IMPORTANT: If your cabinets are over 36 3/4" high, you must install this range on a hard, heat-resistant support that raises the surface of the range so that it is about even with the countertop.



A: 30" minimum clearance between the top of the cooking surface and the bottom of an unprotected wood or metal cabinet; or 24" minimum when the bottom of the wood or metal cabinet is protected by not less than 1/4" of flame retardant millboard covered with not less than no.28 MSG sheet steel, 0.015" stainless steel, 0.024" aluminum, or 0.020" copper.

B: 15" minimum between the countertop and the adjacent cabinet bottom.

IMPORTANT: Consult with Installation Manual for detailed instructions before installing. All ranges must be installed with the Anti-Tip device that is included.

Power Source

240V/208V/60 Hz/40A

Electric Cooktop

- Right Front: 6"/9" Dual Ring Burner, 3300 W
- Left Front: 6"/9" Dual Ring Burner, 3300 W
- Right Rear: 6" Burner, 1200 W
- Left Rear: 6" Burner, 1200 W
- Center: Warming Center, 100 W

Oven

- Capacity: 6.3 cu. ft.
- Bake
- Variable Broil: Low/High
- Bread Proof

Warranty

One (1) Year Parts and Labor

Product Dimensions & Weight (WxHxD)

Oven Interior Dimensions:

24 13/16" x 22 7/16" x 19 3/4"

Outside Net Dimensions:

29 15/16" x 46 5/16-47 1/16" (Adjustable) x 28 11/16"

Weight: 131 lbs

Shipping Dimensions & Weight (WxHxD)

Dimensions:

33 1/16" x 50 9/16" x 30 5/16"

Weight: 154 lbs

Color

Stainless Steel

Model

NE63A6311SS

UPC Code

887276509396

Fingerprint Resistant

Black Stainless Steel

NE63A6311SG

887276509389



ME17R7021ES

1.7 cu. ft. Over-the-Range Microwave

SAMSUNG



Signature Features

1.7 cu. ft. Capacity

- The 1.7 cu. ft. capacity of this microwave accommodates a variety of snacks and meal items and lets you prepare foods quickly and easily.

Fingerprint Resistant

- Special coated exterior ensures your microwave remains spotless even with daily use.

300 CFM Ventilation System

- Powerful 300 CFM ventilation fan quickly and quietly eliminates food odors.

Available Colors



Fingerprint Resistant
Stainless Steel (shown)



Fingerprint Resistant
Black Stainless Steel

White



Black



LED Display



300 CFM Ventilation System

Features

- 1000 Watts of Cooking Power
- LED Display
- Charcoal/Grease Vent Filter
- 10 Power Levels
- Two-Stage Programmable Cooking
- Auto Defrost/Auto Reheat
- Auto Cook
- Microwave Distribution System: Turntable

Convenience

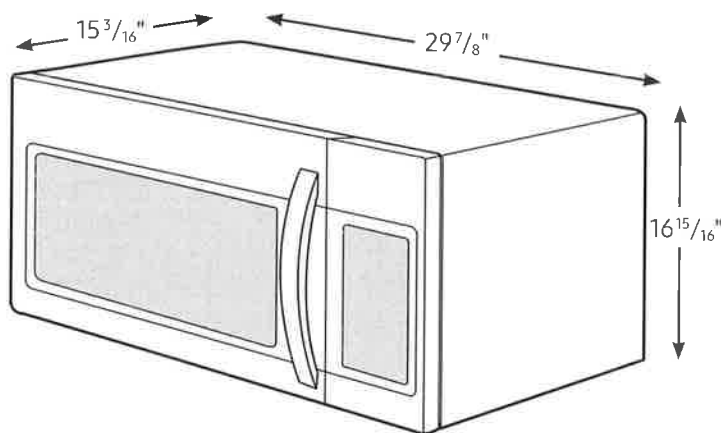
- Kitchen Timer
- Clock (12 hr/24 hr) with Daylight Saving Time Adjustment
- Child Safety Lock
- Reminder End Signal
- Interior Light: Incandescent (1)
- Cooktop Lighting: High/Low/Off
- Vent Fan Control: High/Low/Off
- Sound On/Off
- Eco Mode (Reduces Standby Power)

ME17R7021ES

1.7 cu. ft. Over-the-Range Microwave

SAMSUNG

Dimensions



Specifications

- Oven Cavity: 1.7 cu. ft.
- Power Output: 1000W
- Power Consumption: 1580W/13.5 A
- Power Source: 120V/60 Hz
- Control Method: Digital (Membrane Touch)
- Display: LED
- Cooking Control: 10 Power Levels Including Defrost
- Cooking Timer: Digital, up to 99 Minutes, 99 Seconds
- Microwave Distribution System: Turntable
- Glass Turntable Diameter: 11 1/2"
- Vent Fan: 300 CFM
- Vent Fan Control: High/Low/Off
- Cooktop Lighting: High/Low/Off

Warranty

One (1) Year Parts and Labor
Ten (10) Years Parts on Magnetron

Product Dimensions & Weight (WxHxD)

Cavity Dimensions: 19 5/16" x 9 5/8" x 14 3/8"

Outside Net Dimensions: 29 7/8" x 16 15/16" x 15 3/16"

Weight: 56 lbs. (Fingerprint Resistant Stainless Steel,
Fingerprint Resistant Black Stainless Steel)
54.9 lbs. (White, Black)

Shipping Dimensions & Weight (WxHxD)

Dimensions: 33 3/8" x 19 7/16" x 20 3/16"

Weight: 63.6 lbs. (Fingerprint Resistant Stainless Steel,
Fingerprint Resistant Black Stainless Steel)
62.5 lbs. (White, Black)

Color

Color	Model #	UPC Code
Fingerprint Resistant Stainless Steel	ME17R7021ES	887276348049
Fingerprint Resistant Black Stainless Steel	ME17R7021EG	887276390024
White	ME17R7021EW	887276348636
Black	ME17R7021EB	887276348612

Installing Your Microwave

- This microwave oven is designed for adaptation to the following three types of ventilation:

A. Outside Top Exhaust (Vertical Duct)

B. Recirculating (Non-Vented Ductless)

C. Outside Back Exhaust (Horizontal Duct)

- The space between the cabinets must be 30" wide and free of obstructions.

- This microwave oven is for installation over ranges up to 36" wide.

- The microwave must be level. Use a level to make sure the cabinet bottom is level. If the cabinets have a front overhang only, with no back or side frame, install the mounting plate down the same distance as the front overhang depth. This will keep the microwave level.



FOR EASIER INSTALLATION AND PERSONAL SAFETY, WE RECOMMEND THAT TWO PEOPLE INSTALL THIS MICROWAVE OVEN. IMPORTANT: Do not grip or use handle during installation.

NOTE: If your cabinet is metal, use the nylon grommet around the power cord hole to prevent cutting of the cord.

NOTE: We recommend using filler blocks if the cabinet front hangs below the cabinet bottom shelf.

IMPORTANT: If filler blocks are not used, case damage may occur from overtightening screws.

NOTE: When mounting the microwave oven, thread power cord through hole in bottom of top cabinet. Do not pinch cord or lift oven by pulling cord.

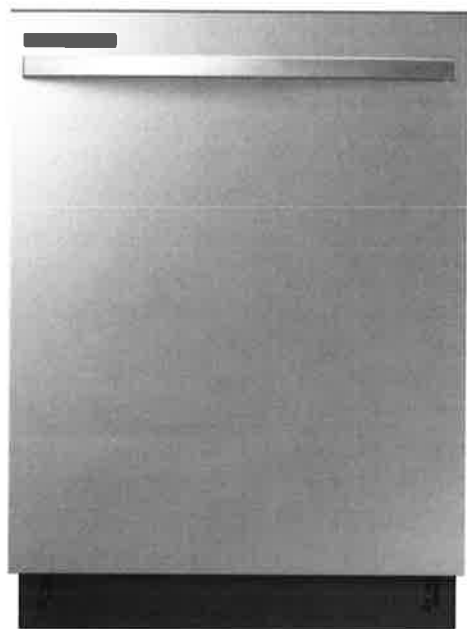
Actual color may vary. Design, specifications, and color availability are subject to change without notice. Non-metric weights and measurements are approximate.

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DW80R2031

SAMSUNG

Samsung Dishwasher with Integrated Digital Touch Controls



Signature Features

Digital Touch Controls

- Digital touch controls make it easy to select functions with a gentle touch

Adjustable Rack

- Height adjustable upper rack makes it easy to accommodate various dishware shapes and sizes

Stainless Steel Door

- The interior door is covered with stainless steel that's more durable

Available Colors



Stainless Steel



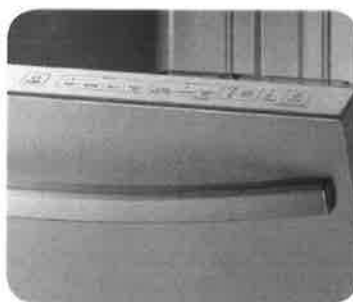
Black Stainless Steel



Black



White



Digital Touch Controls



Stainless Steel Interior Door

Features

- Fully Integrated Top Control
- Advanced Wash System
- ENERGY STAR® rated: 255 kWh/Year
- Touch Control
- 4 Wash Cycles
- 5 Options
- 14 Place Settings
- 55 dBA Noise Level

Convenience

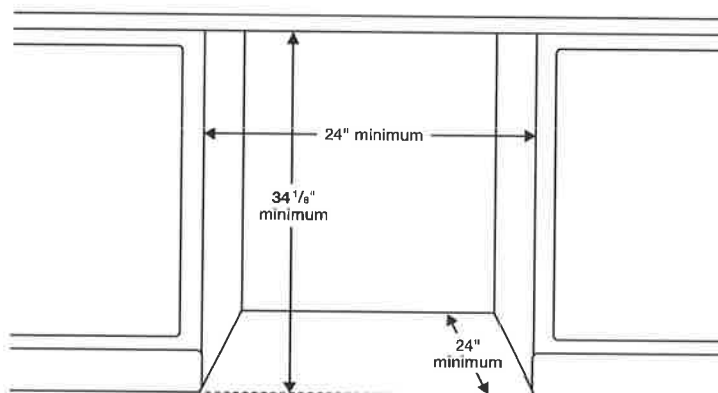
- Control Lock
- Delay Start
- Height-Adjustable Upper Rack
- Digital Water Leakage Sensor

DW80R2031

SAMSUNG

Samsung Dishwasher with Integrated Digital Touch Controls

Installation Specifications



Features

- 4 Wash Cycles: Auto, Normal, Heavy, Express 60
- 5 Options: Hi-Temp Wash, Sanitize (Anti-Bacterial-NSF), Delay Start, Control Lock, Heated Dry

Convenience

- Control Lock
- Digital Water Leakage Sensor
- Height-Adjustable Upper Rack
- Polypropylene Racking
- Silverware Basket

Warranty

One (1) Year All Parts and Labor
Five (5) Year Limited on Printed Circuit Board

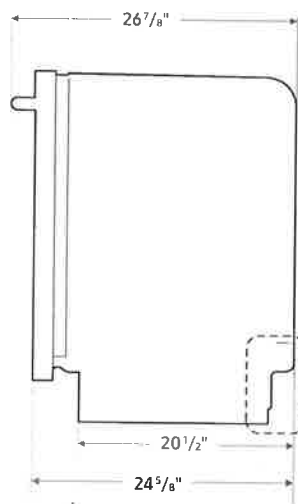
Product Dimensions & Weight (WxHxD)

Dimensions: 23³/₄" x 33³/₄" x 24⁵/₈"

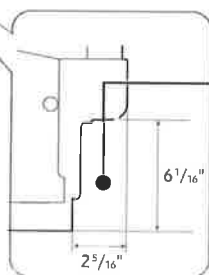
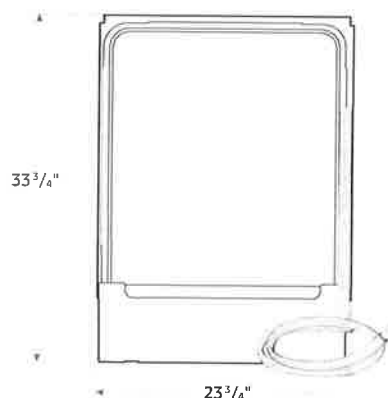
Weight: 64 lbs

Dimensions

Side View



Rear View



The water supply line, power cable and drain hose should go through this space behind the dishwasher. Then, the power cable runs in channels under the dishwasher to connections in the front.

Shipping Dimensions & Weight (WxHxD)

Dimensions: 26" x 35" x 29¹/₇"

Weight: 73.9 lbs

Color

Stainless Steel

Black Stainless Steel

Black

White

Model

DW80R2031US

DW80R2031UG

DW80R2031UB

DW80R2031UW

UPC Code

887276305004

887276523071

887276454047

887276454030

RT21M6215SR

SAMSUNG

Samsung Top-Freezer Refrigerator

21 cu. ft. Capacity



Signature Features

FlexZone™

- Versatile fridge compartment that converts freezer to fridge.

Twin Cooling Plus®

- Maintains both high levels of refrigerator humidity to keep perishable fruits and vegetables fresher longer, and dry freezer conditions means less freezer burn for better-tasting frozen foods.

Slide & Reach Pantry

- Easily access all your favorite foods.

Available Colors



Stainless Steel



Black Stainless Steel (shown)



White



FlexZone™



Slide & Reach Pantry

Features

- Large Capacity – 21 cu. ft.
- ENERGY STAR® Compliant
- Twin Cooling Plus® (FlexZone™)
- True No-Frost Technology
- Auto Ice Master
- LED Top Lighting
- Fresh Room
- Vegetable Bins
- Dairy Bin

Convenience

- Reversible Door
- Recessed Door Handle

Rating



ENERGY STAR®-rated:
478 kWh/yr

RT21M6215SR

SAMSUNG

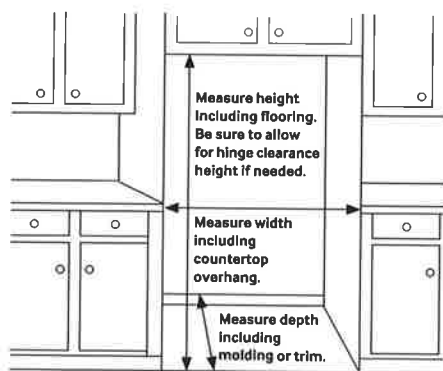
Samsung Top-Freezer Refrigerator

21 cu. ft. Capacity

Installation Specifications

1. Measure the height, width and depth of the opening, making sure to include baseboards, molding tile, countertop overhang, etc. Check to be sure there is enough room to open the door (consider walls, islands or other obstacles when measuring).
 2. Refer to illustration below to determine dimensions.
 3. Allow 2.5" of clearance on hinge side of refrigerator when installing next to a wall where handle may make contact.
 4. Allow 1" minimum clearance at rear for proper air circulation and water/electrical connections. Allow a 3/8" minimum clearance at sides and top for ease of installation.
 5. Ensure each door and entryway in the home is wide enough for the refrigerator to be moved through easily.
- For optimal usage and to be able to open refrigerator doors completely, do not install next to a wall.

Please note: The following dimension and cutout information is for planning purposes only. For complete installation details, consult manual packed with product, or download manual online at samsung.com.



Total Capacity: 21.1 cu. ft.

Refrigerator: 15.4 cu. ft.

- Fresh Room
- Dairy Bin
- 2 Vegetable Bins
- LED Top Lighting

Fridge in Freezer: 5.7 cu. ft.

- 1 Glass Shelf

Warranty

Ten (10) Years on Digital Inverter

Product Dimensions & Weight

Dimensions (WxHxD with hinges, handles and doors):
32⁷/₈" x 67³/₄" x 31⁷/₈"

Dimensions (WxHxD without hinges and door):
32⁷/₈" x 66³/₄" x 28¹/₂"

Weight: 200.6 lbs.

Shipping Dimensions & Weight (WxHxD)

Dimensions: 34³/₈" x 71⁵/₈" x 33¹/₂"

Weight: 218.2 lbs.

Color

Stainless Steel

Black Stainless Steel

White

Model

RT21M6215SR

RT21M6215SG

RT21M6215WW

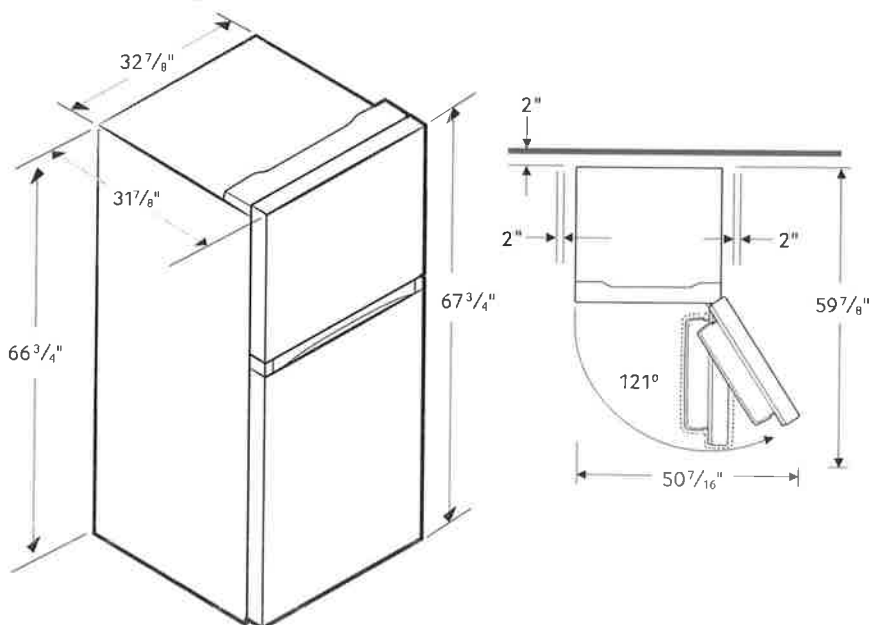
UPC Code

887276191874

887276191867

887276191881

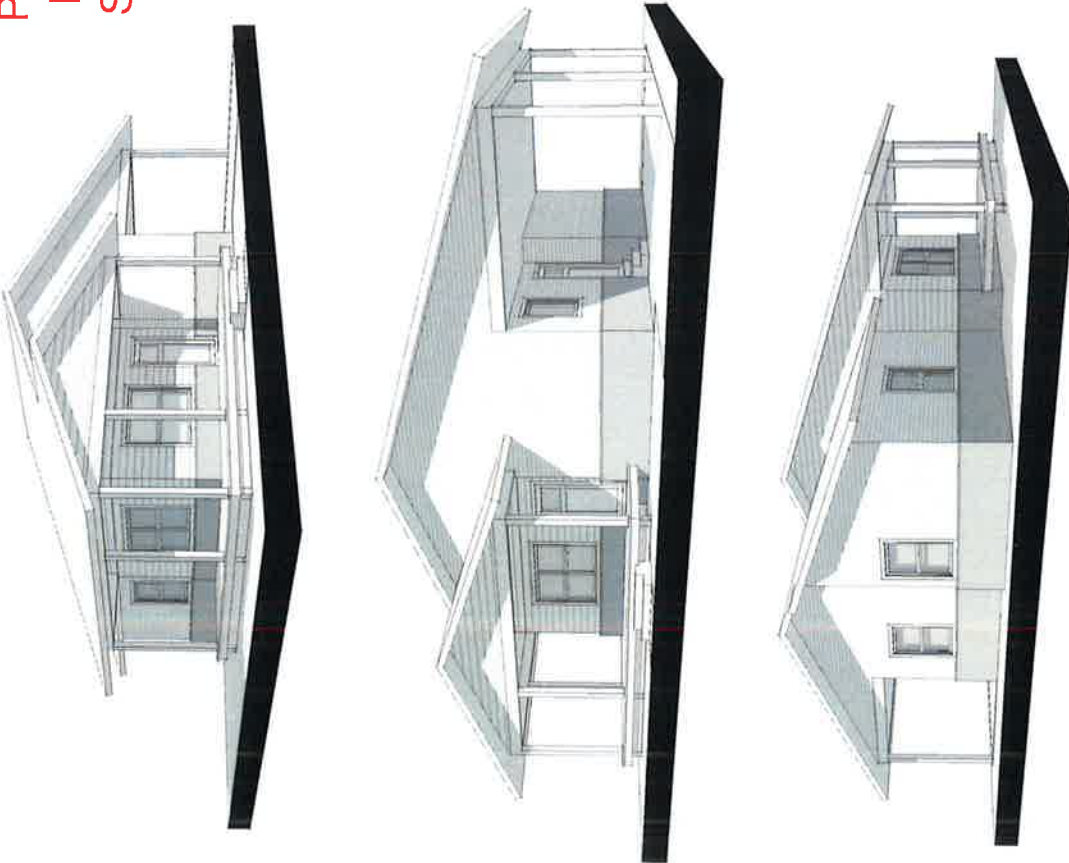
Dimensions



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Preliminary
Plans are
Subject to
change



PROJECT TEAM

Project Identification:

Lazy K
Address TBD
Gunnison, Colorado

Owner/Developer/Builder:

High Mountain Concepts
1283 Co Rd 738
Crested Butte, CO 81224
Contact: John Stock
johnstock@highmountainconcepts.com

Architect:

JV DeSouza LLC Architecture
1910 Seventh Street, Third Floor
Boulder, CO 80302
720.301.0500
Contact: JV DeSouza
jv@jvdesouza.com

Landscape:

Norm Design
409 Main Street, Suite 207
Frisco, CO 80443
970.368.7068
Contact: Ekina Scott
escott@norma-design.com

Building Area

Lot 1	Unit Floor Area
enclosed space	782
interior conditioned space	782
total	782
unenclosed space	363
carport	363
entry porch	259
subtotal	622 sf
Total unit area	1,404 sf
Unit quantity	1
Building Total	1,404 sf

CODE SUMMARY

CONSTRUCTION TYPE: TYPE V3
SPECIAL USE (IRC)
RESIDENTIAL USES
OCCUPANCY GROUP: NONE
FIRE SPRINKLER: NO
TOTAL NUMBER OF UNITS: 1
ARE CALCULATIONS IN CODE ANALYSIS BELOW
TOTAL PROJECT FLOOR AREA: 1,404 S.F.
SEE CALCULATIONS IN CODE ANALYSIS BELOW
TOTAL SITE AREA: 3.08 S.F. (1.21 ACRES)
MAXIMUM NUMBER OF STORES ALLOWED: 3
MAXIMUM NUMBER OF STORIES PROPOSED: 1
MAXIMUM BUILDING HEIGHT PROPOSED: 19'-0" (R000)
ACCESSIBILITY: NONE

CODE ANALYSIS

LAZY K LOT 1
ADDRESS TBD
GUNNISON, CO 81230
1 January 2021

Applicable codes:

IRC - 2015

Occupancy classifications: Single family

IRC Section R101.2 - IRC shall apply to detached one-family dwelling structures or not more than three (3) stories in height.

IRC 302.1(1) - Exterior walls and projections - Dwellings with sprinklers constructed of fire-resistance rated masonry shall have exterior walls and projections not less than 8" x 8" shall be one (1) hour protected on the outside of the exterior walls and projections.

IRC 302.1(1) - Exterior walls and projections - Dwellings with sprinklers constructed of fire-resistance rated masonry shall have exterior walls and projections not less than 8" x 8" shall be one (1) hour protected on the outside of the exterior walls and projections.

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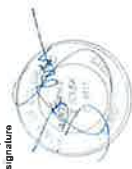
SHEET INDEX

- A0.0 COVER/ CODE ANALYSIS
- ARCHITECTURE
 - A1.1 SITE PLAN
 - A3.0 CRAWLSPACE/FOUNDATION PLAN
 - A3.1 BUILDING GROUND FLOOR AND ROOF PLAN
 - A5.1 ELEVATIONS
 - A6.1 SECTION
 - A6.2 SECTION
 - A6.4 SECTION
 - A6.5 SECTION
- STRUCTURAL ENGINEERING
 - S3.1 GROUND FLOOR AND ROOF FRAMING PLAN

Lazy K Lot 1

Gunnison, Colorado

seal & signature



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project

issue date:

1 January 2022

revision:

1

VE: Revision
4 February 2022

drawing title

COVER

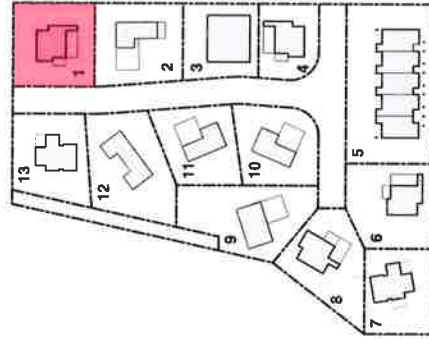
drawing scale

AS NOTED

drawing number

A0.0

Preliminary
Plans are
Subject to
change



3 SUBDIVISION KEY PLAN
1" = 50' 0"

PLANT LIST

TREES - NEW	QUANTITY	SIZE AT PLANT	PLANTING DATE	PLANTING LOCATION
1	1	12" DBH	2022	LOT 1
2	1	12" DBH	2022	LOT 1
3	1	12" DBH	2022	LOT 1
4	1	12" DBH	2022	LOT 1
5	1	12" DBH	2022	LOT 1
6	1	12" DBH	2022	LOT 1
7	1	12" DBH	2022	LOT 1
8	1	12" DBH	2022	LOT 1
9	1	12" DBH	2022	LOT 1
10	1	12" DBH	2022	LOT 1
11	1	12" DBH	2022	LOT 1
12	1	12" DBH	2022	LOT 1
13	1	12" DBH	2022	LOT 1

PLANT LIST

TREES - EXISTING	QUANTITY	SIZE AT PLANT	PLANTING DATE	PLANTING LOCATION
1	1	12" DBH	2022	LOT 1
2	1	12" DBH	2022	LOT 1
3	1	12" DBH	2022	LOT 1
4	1	12" DBH	2022	LOT 1
5	1	12" DBH	2022	LOT 1
6	1	12" DBH	2022	LOT 1
7	1	12" DBH	2022	LOT 1
8	1	12" DBH	2022	LOT 1
9	1	12" DBH	2022	LOT 1
10	1	12" DBH	2022	LOT 1
11	1	12" DBH	2022	LOT 1
12	1	12" DBH	2022	LOT 1
13	1	12" DBH	2022	LOT 1

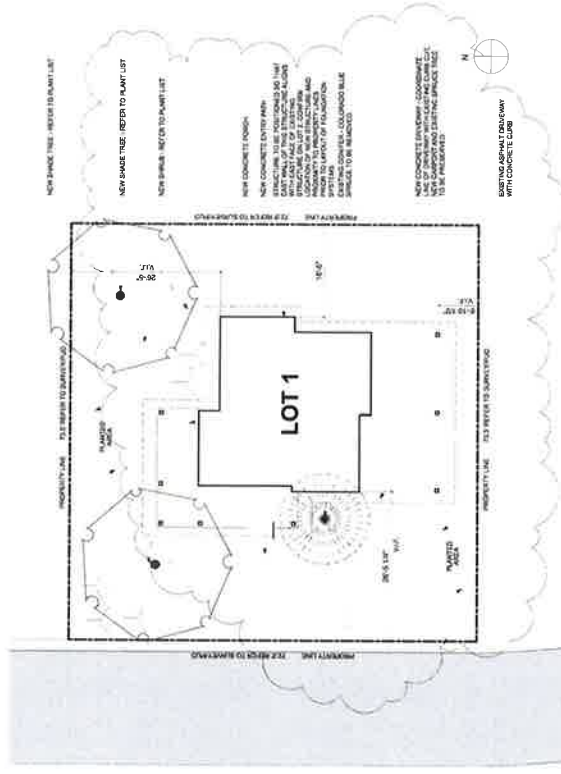
PLANT LIST

SHRUBS - EXISTING	QUANTITY	SIZE AT PLANT	PLANTING DATE	PLANTING LOCATION
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2	1	12" DBH	2022	LOT 1
3	1	12" DBH	2022	LOT 1
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5	1	12" DBH	2022	LOT 1
6	1	12" DBH	2022	LOT 1
7	1	12" DBH	2022	LOT 1
8	1	12" DBH	2022	LOT 1
9	1	12" DBH	2022	LOT 1
10	1	12" DBH	2022	LOT 1
11	1	12" DBH	2022	LOT 1
12	1	12" DBH	2022	LOT 1
13	1	12" DBH	2022	LOT 1

PLANT LIST

ORNAMENTAL GRASSES	QUANTITY	SIZE AT PLANT	PLANTING DATE	PLANTING LOCATION
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2	1	12" DBH	2022	LOT 1
3	1	12" DBH	2022	LOT 1
4	1	12" DBH	2022	LOT 1
5	1	12" DBH	2022	LOT 1
6	1	12" DBH	2022	LOT 1
7	1	12" DBH	2022	LOT 1
8	1	12" DBH	2022	LOT 1
9	1	12" DBH	2022	LOT 1
10	1	12" DBH	2022	LOT 1
11	1	12" DBH	2022	LOT 1
12	1	12" DBH	2022	LOT 1
13	1	12" DBH	2022	LOT 1

2 PLANT LIST
1" = 50' 0"



1 SITE AND LANDSCAPE PLAN
1" = 50' 0"

seal & signature
4 February 2022



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project

Lazy K Lot 1
Lazy K, Gunnison Co

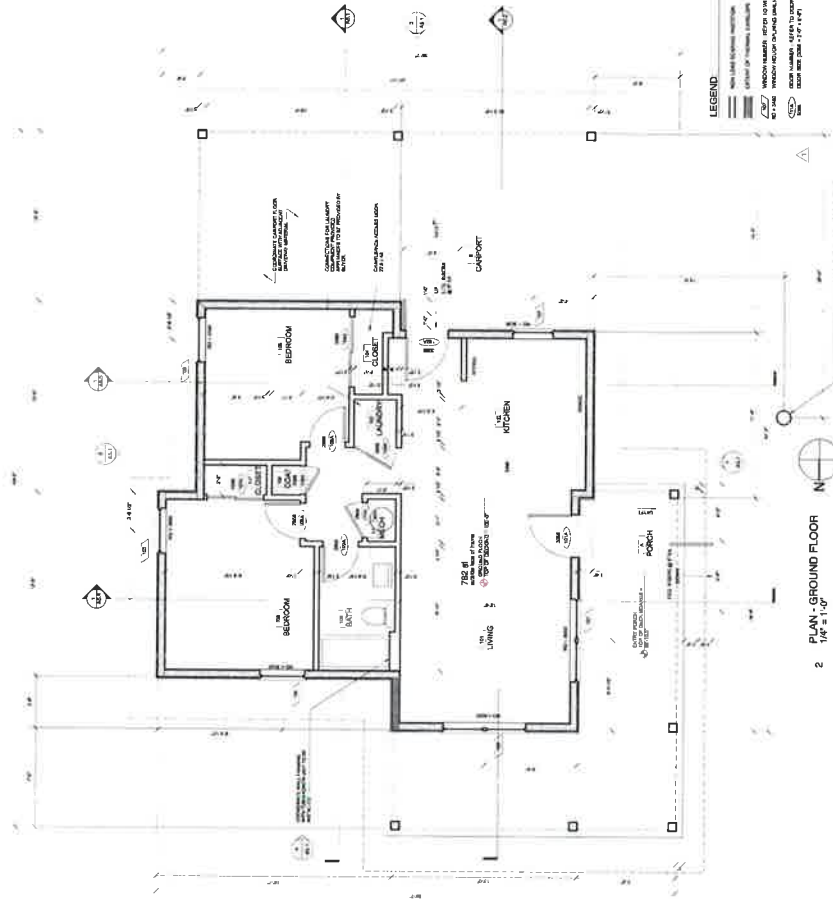
issue date:
1 January 2022
revisions:
1 VE Revisions
4 February 2022
Building Site Location Revision
9 February 2022

drawing title
SITE PLAN
drawing scale
AS NOTED
drawing number
A1.1

No.	Name of the person	Sex	Age	Date of birth	Place of birth	Date of admission	Examination		Remarks
							First	Second	
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A handwritten signature in blue ink is written over a circular official stamp. The stamp contains the text "GOVERNMENT OF INDIA" and "MINISTRY OF EDUCATION" around the perimeter, with "NEW DELHI" at the bottom. The signature is written in a cursive style across the center of the stamp.

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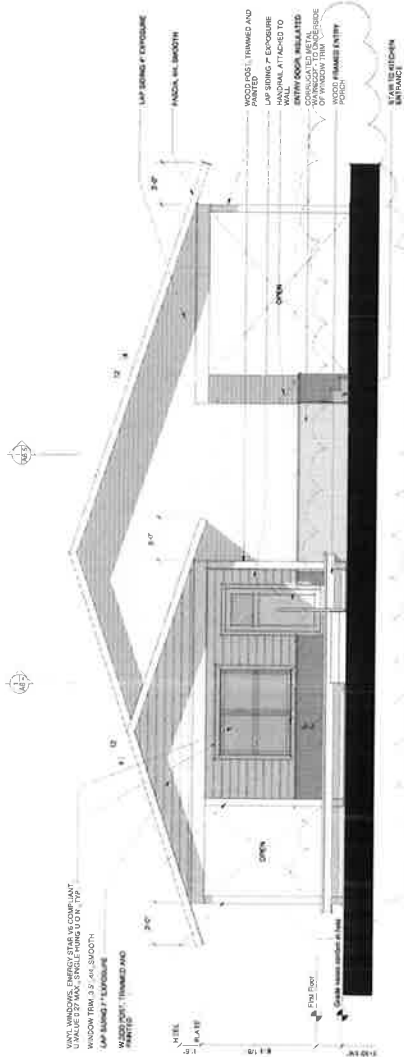
Lazy K Lot 1

Issue date:
1 January 2022

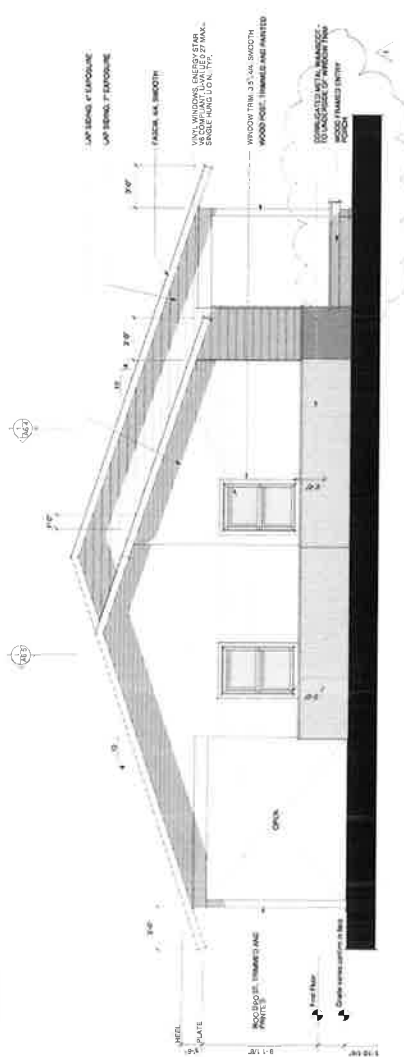
Revisions:
VE Revisions
4 February 2022

FLOOR PLANS	drawing scale	AS NOTED
	drawing number	

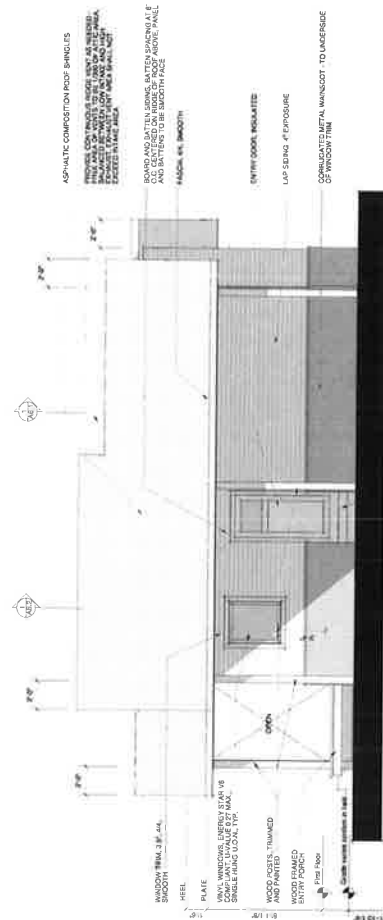
A3.1



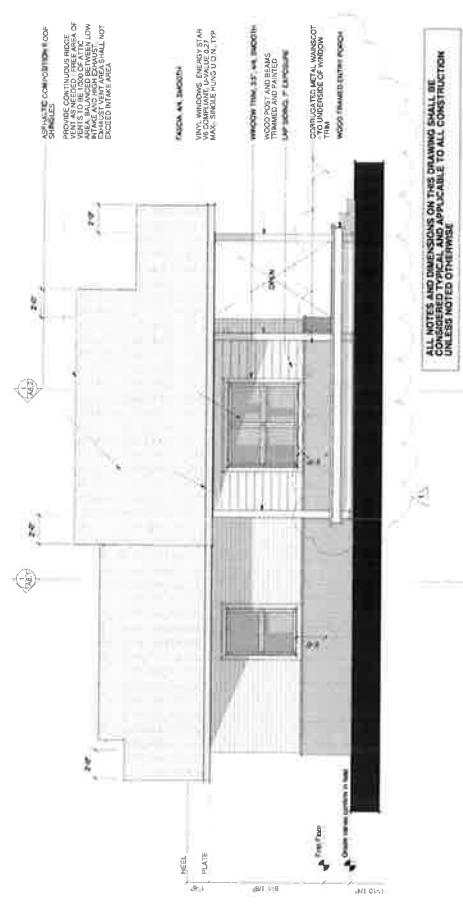
WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

Subject to change

Lazy K Lot 4
Lazy K, Gunnison CO

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AO.0

Preliminary Plans are Subject to change

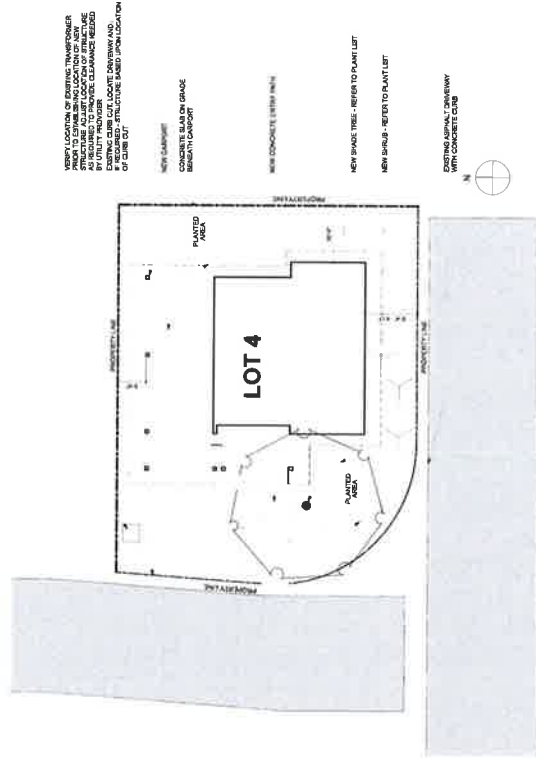


3 SUBDIVISION KEY PLAN
1" = 50'

PLANT LIST

THREE VIEW	NO.	COMMON	COMMON	COMMON
THREE VIEW	1	COMMON	COMMON	COMMON
THREE VIEW	2	COMMON	COMMON	COMMON
THREE VIEW	3	COMMON	COMMON	COMMON
THREE VIEW	4	COMMON	COMMON	COMMON
THREE VIEW	5	COMMON	COMMON	COMMON
THREE VIEW	6	COMMON	COMMON	COMMON
THREE VIEW	7	COMMON	COMMON	COMMON
THREE VIEW	8	COMMON	COMMON	COMMON
THREE VIEW	9	COMMON	COMMON	COMMON
THREE VIEW	10	COMMON	COMMON	COMMON
THREE VIEW	11	COMMON	COMMON	COMMON
THREE VIEW	12	COMMON	COMMON	COMMON
THREE VIEW	13	COMMON	COMMON	COMMON

2 PLANT LIST
NONE



1 SITE AND LANDSCAPE PLAN
1" = 10'

seal & signature



11 December 2021

iVD
iVD LLC, 3000 S. 1st Avenue, Suite 100
Boulder, Colorado 80502
info@iVD.com

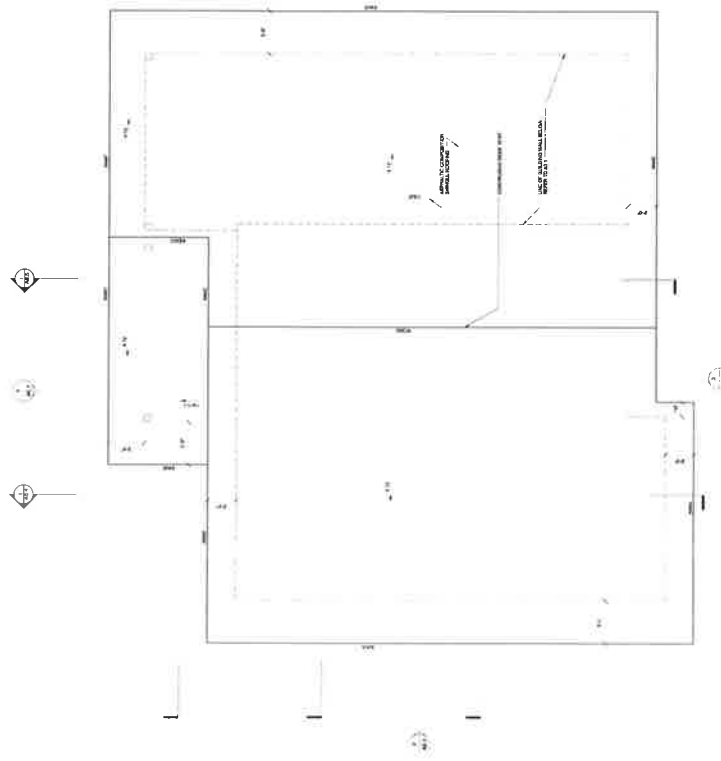
project

Lazy K Lot 4
Lazy K, Gunnison CO

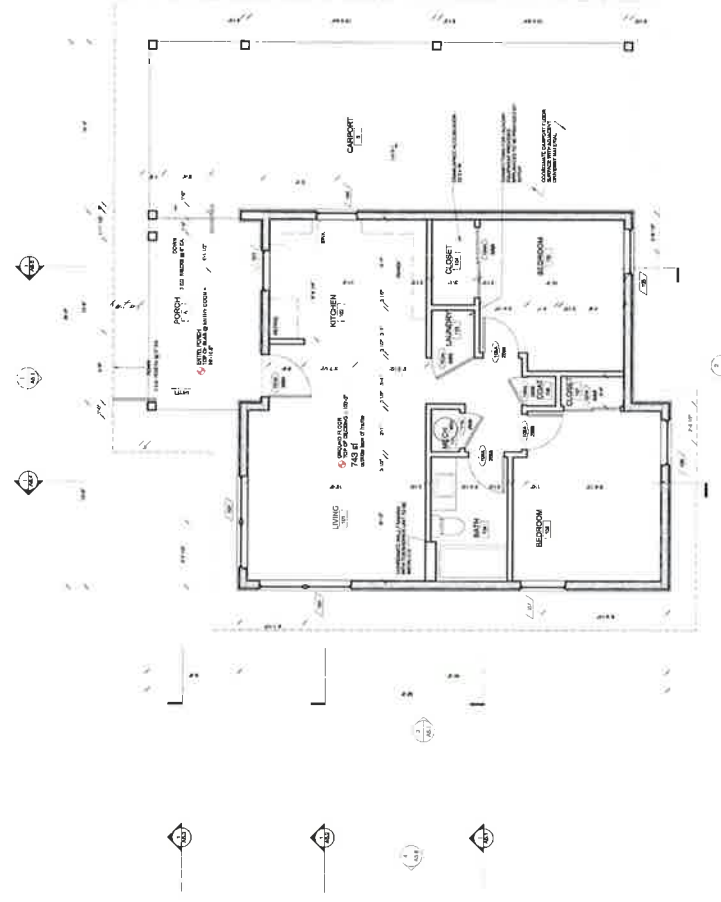
issue date:
11 December 2021
revisions:

drawing title
SITE PLAN
drawing scale AS NOTED
drawing number
A1.1

Preliminary Plans are
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1 PLAN - FOUNDATION
1/4" = 1'-0"



2 PLAN - CRAWLSPACE
1/4" = 1'-0"



scale &
signature



iVD LLC
1000 S. 10th Street
Bozeman, Montana 59717
406.591.6000
info@ivd.com

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project

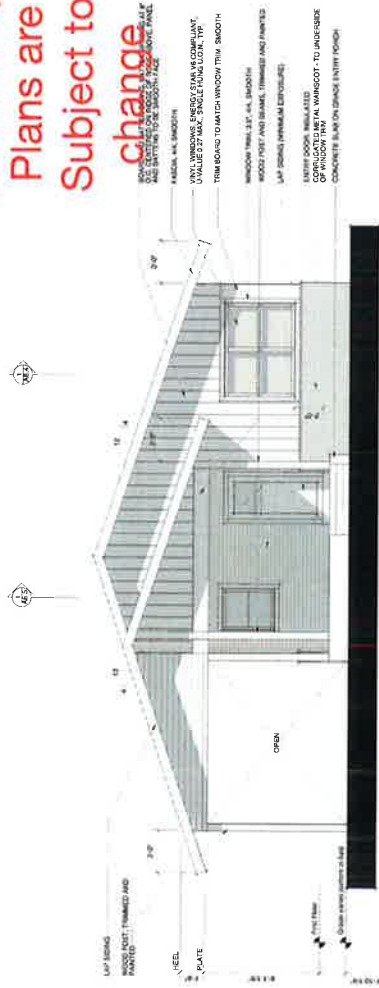
Lazy K Lot 4
Lazy K, Gunnison CO

issue date:
11 December 2021
revisions:

FLOOR PLANS
drawing scale AS NOTED
drawing number

A3.1

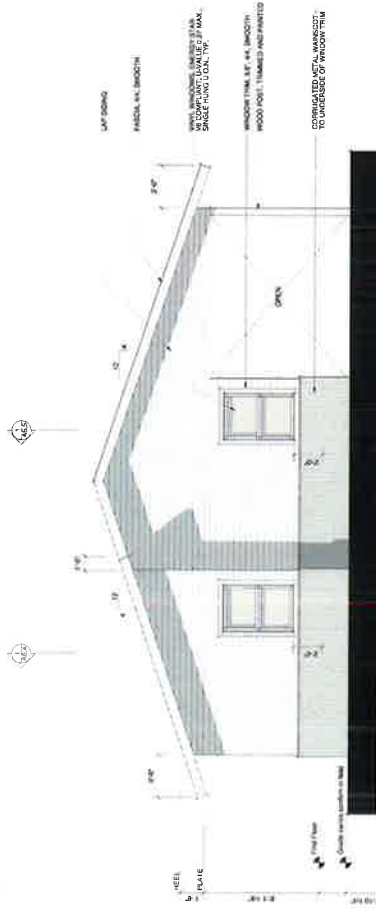
Preliminary
Plans are
Subject to
change



1 WEST ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE
CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION
UNLESS NOTED OTHERWISE

3 SOUTH ELEVATION
1/4" = 1'-0"

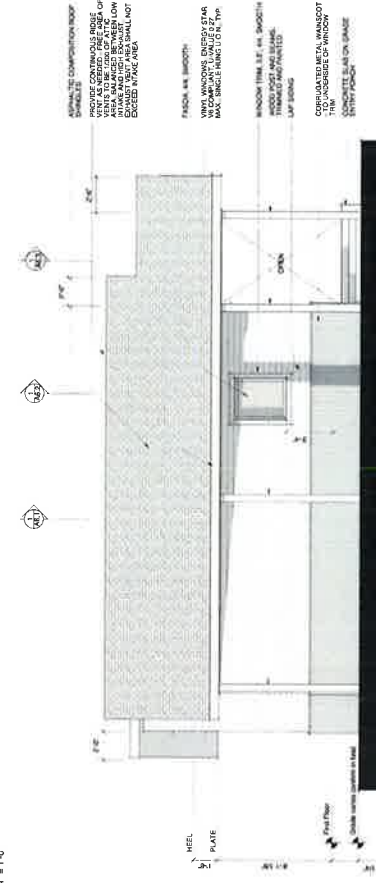


2 EAST ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE
CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION
UNLESS NOTED OTHERWISE

4 NORTH ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE
CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION
UNLESS NOTED OTHERWISE



ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE
CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION
UNLESS NOTED OTHERWISE

11 December 2021

11 December 2021

project

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iVD
Inland Valley Design
11000 S. Main Street
Suite 100
Boulder, Colorado 80502
781.666.6666
info@ivd.com

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project.

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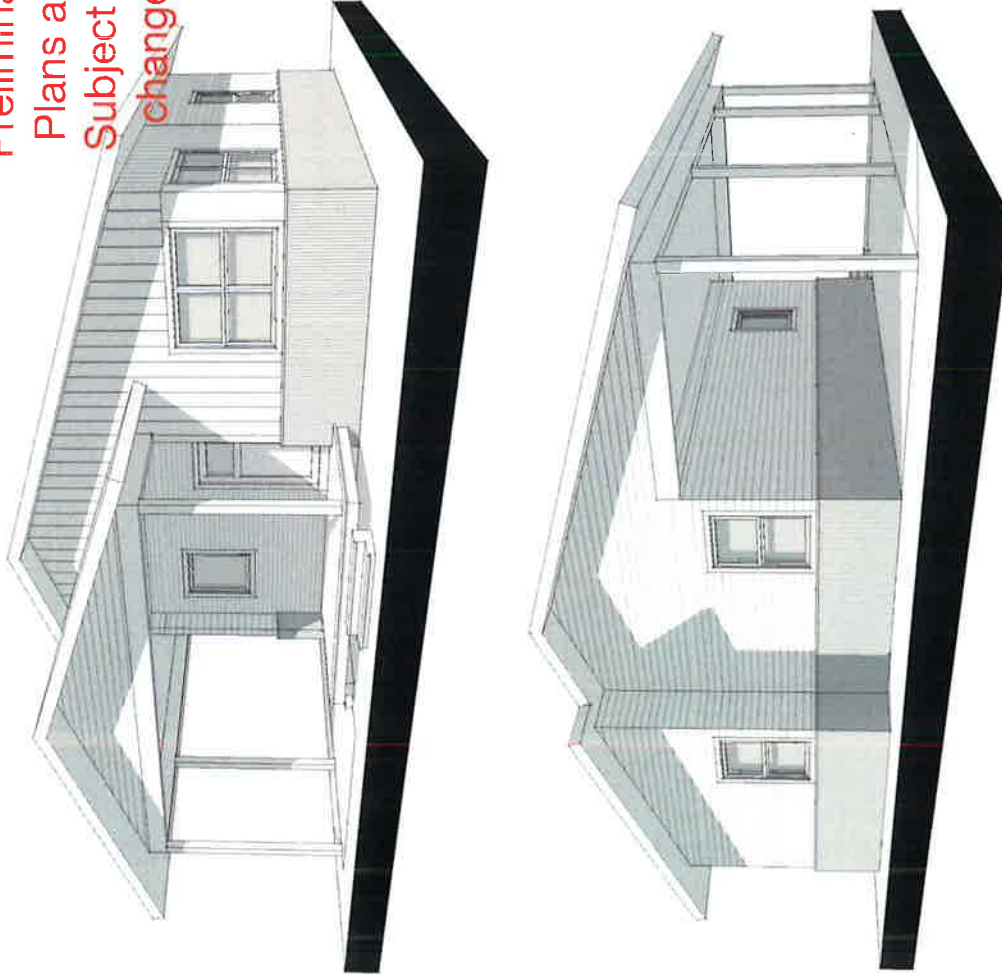
project

ELEVATIONS

drawing scale AS NOTED
drawing number

A5.1

Preliminary
Plans are
Subject to
change



Building Area

Lot 6			
enclosed space			
first floor conditioned space	744		744
total			
unenclosed space			
carport	411		
entry porch	107		
subtotal			
518 sf			
Total unit area			
1,262 sf			
Unit quantity	1		
Building Total			
1,262 sf			

PROJECT TEAM

Project Identification:

Lazy K Lot 3
Address TBD
Gunnison, Colorado

Owner/Developer/Builder:

High Mountain Concepts
1283 Co Rd 738
Crested Butte, CO 81224
Contact: John Stock
johnstock@highmountainconcepts.com

Architect:

JV DeSousa LLC Architecture
1910 Seventh Street, Third Floor
Boulder, CO 80302
720.301.0500
Contact: JV DeSousa
jv@jvdesousa.com

Landscape:

Norris Design
405 Main Street, Suite 207
Frisco, CO 80443
970.368.7068
Contact: Emma Scott
emma@norris-design.com

CODE SUMMARY

CONSTRUCTION TYPE: TYPE V-B

SE DWELLING (R2)
INCIDENTAL USES:
NONE

FIRE SPRINKLER:

NO

TOTAL NUMBER OF UNITS: 1

SEE CALCULATIONS IN CODE ANALYSIS BELOW

TOTAL PROJECT FLOOR AREA: 1,262 S.F.

SEE CALCULATIONS IN CODE ANALYSIS BELOW

TOTAL SITE AREA: 5,474 S.F. (1.06 ACRES)

MAXIMUM NUMBER OF STORES ALLOWED: 3

MAXIMUM NUMBER OF STORES PROPOSED: 1

MAXIMUM BUILDING HEIGHT PROPOSED: 19'-0" (RIDGE)

ACCESSIBILITY: NONE

CODE ANALYSIS

LAZY K LOT 3

ADDRESS TBD

GUNNISON, CO 81230

11 December 2021

Applicable codes:

IRC — 2015

Occupancy classification: Single family

residential structure

IRC Section R101.2 — IRC and apply to detached one-family dwelling structures of not more than three (3) stories in height.

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seal & signature



4 February 2022

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ivD
International Village Design
Boulder, Colorado 80302
ivd@ivdusa.com

project

Lazy K Lot 6
Lazy K, Gunnison CO

issue date:

11 December 2021

revisions:

1 VE Exchanges
47 February 2022

drawing title

COVER

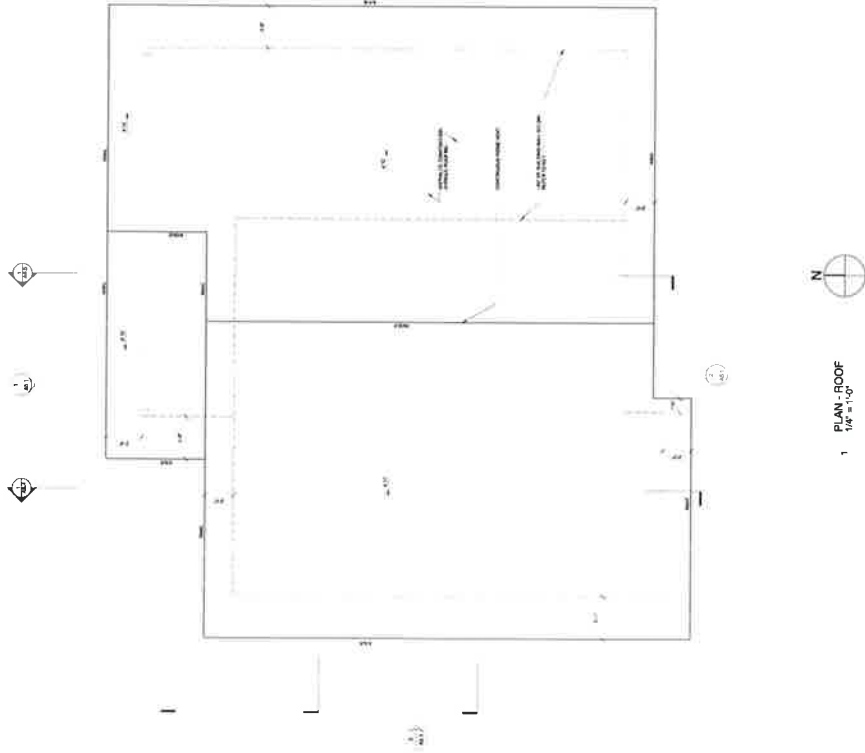
drawing scale

AS NOTED

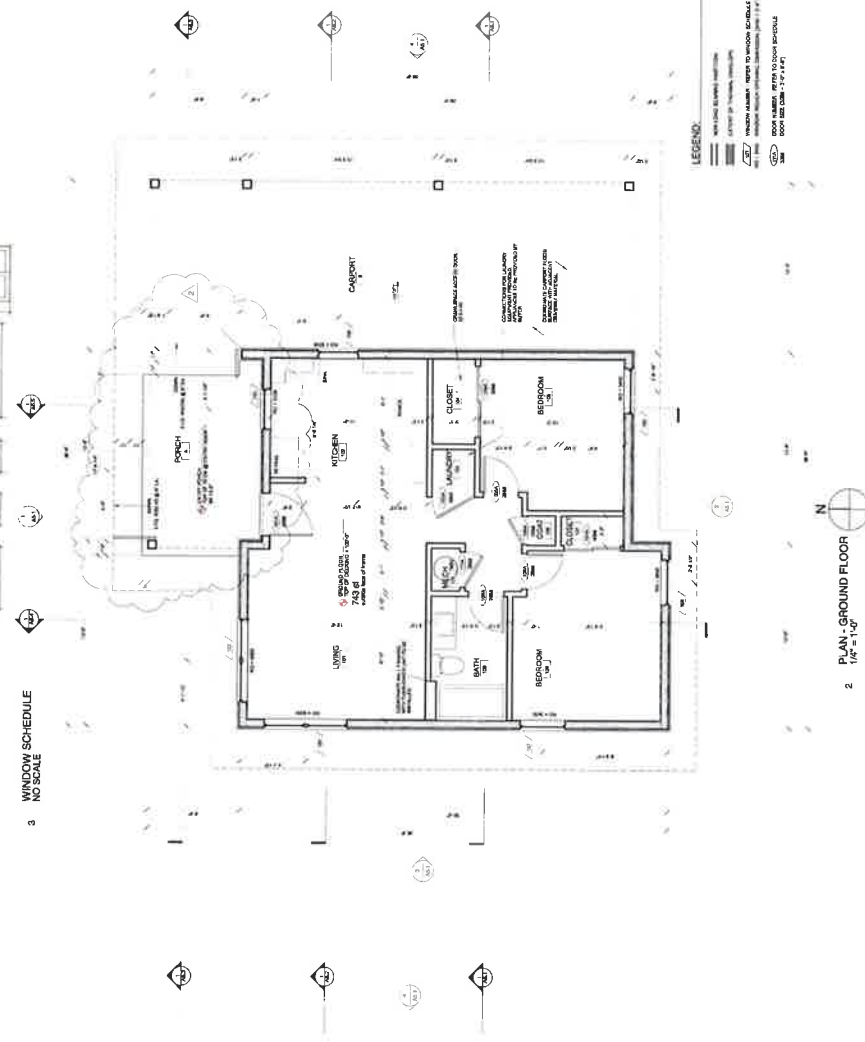
drawing number

A0.0

	Size	Weight	Volume	Unit Price	Total Price	Tax	Net Price	Gross Price	Net Weight	Gross Weight	Net Volume	Gross Volume	Net Surface Area	Gross Surface Area	Net Perimeter	Gross Perimeter	Net Length	Gross Length	Net Width	Gross Width	Net Height	Gross Height	Net Depth	Gross Depth	Net Thickness	Gross Thickness	Net Radius	Gross Radius	Net Diameter	Gross Diameter	Net Circumference	Gross Circumference	Net Area	Gross Area	Net Moment of Inertia	Gross Moment of Inertia	Net Section Modulus	Gross Section Modulus	Net Torsion Constant	Gross Torsion Constant	Net Polar Moment of Inertia	Gross Polar Moment of Inertia	Net Torsional Stiffness	Gross Torsional Stiffness	Net Torsional Resistance	Gross Torsional Resistance	Net Torsional Angle	Gross Torsional Angle	Net Torsional Deflection	Gross Torsional Deflection	Net Torsional Frequency	Gross Torsional Frequency	Net Torsional Damping	Gross Torsional Damping	Net Torsional Loss	Gross Torsional Loss	Net Torsional Efficiency	Gross Torsional Efficiency	Net Torsional Factor	Gross Torsional Factor	Net Torsional Ratio	Gross Torsional Ratio	Net Torsional Index	Gross Torsional Index	Net Torsional Coefficient	Gross Torsional Coefficient	Net Torsional Constant	Gross Torsional Constant	Net Torsional Variable	Gross Torsional Variable	Net Torsional Parameter	Gross Torsional Parameter	Net Torsional Characteristic	Gross Torsional Characteristic	Net Torsional Property	Gross Torsional Property	Net Torsional Feature	Gross Torsional Feature	Net Torsional Detail	Gross Torsional Detail	Net Torsional Note	Gross Torsional Note	Net Torsional Remark	Gross Torsional Remark	Net Torsional Comment	Gross Torsional Comment	Net Torsional Information	Gross Torsional Information	Net Torsional Data	Gross Torsional Data	Net Torsional Record	Gross Torsional Record	Net Torsional Document	Gross Torsional Document	Net Torsional File	Gross Torsional File	Net Torsional Folder	Gross Torsional Folder	Net Torsional Drive	Gross Torsional Drive	Net Torsional Path	Gross Torsional Path	Net Torsional Name	Gross Torsional Name	Net Torsional Extension	Gross Torsional Extension	Net Torsional Type	Gross Torsional Type	Net Torsional Format	Gross Torsional Format	Net Torsional Size	Gross Torsional Size	Net Torsional Date	Gross Torsional Date	Net Torsional Time	Gross Torsional Time	Net Torsional User	Gross Torsional User	Net Torsional Group	Gross Torsional Group	Net Torsional Role	Gross Torsional Role	Net Torsional Permission	Gross Torsional Permission	Net Torsional Access	Gross Torsional Access	Net Torsional Control	Gross Torsional Control	Net Torsional Action	Gross Torsional Action	Net Torsional Effect	Gross Torsional Effect	Net Torsional Result	Gross Torsional Result	Net Torsional Output	Gross Torsional Output	Net Torsional Input	Gross Torsional Input	Net Torsional Process	Gross Torsional Process	Net Torsional Method	Gross Torsional Method	Net Torsional Technique	Gross Torsional Technique	Net Torsional Strategy	Gross Torsional Strategy	Net Torsional Policy	Gross Torsional Policy	Net Torsional Procedure	Gross Torsional Procedure	Net Torsional Protocol	Gross Torsional Protocol	Net Torsional Standard	Gross Torsional Standard	Net Torsional Specification	Gross Torsional Specification	Net Torsional Requirement	Gross Torsional Requirement	Net Torsional Condition	Gross Torsional Condition	Net Torsional State	Gross Torsional State	Net Torsional Status	Gross Torsional Status	Net Torsional Position	Gross Torsional Position	Net Torsional Location	Gross Torsional Location	Net Torsional Address	Gross Torsional Address	Net Torsional Contact	Gross Torsional Contact	Net Torsional Communication	Gross Torsional Communication	Net Torsional Interaction	Gross Torsional Interaction	Net Torsional Relationship	Gross Torsional Relationship	Net Torsional Association	Gross Torsional Association	Net Torsional Connection	Gross Torsional Connection	Net Torsional Link	Gross Torsional Link	Net Torsional Junction	Gross Torsional Junction	Net Torsional Interface	Gross Torsional Interface	Net Torsional Boundary	Gross Torsional Boundary	Net Torsional Separation	Gross Torsional Separation	Net Torsional Division	Gross Torsional Division	Net Torsional Partition	Gross Torsional Partition	Net Torsional Segment	Gross Torsional Segment	Net Torsional Portion	Gross Torsional Portion	Net Torsional Part	Gross Torsional Part	Net Torsional Component	Gross Torsional Component	Net Torsional Element	Gross Torsional Element	Net Torsional Feature	Gross Torsional Feature	Net Torsional Attribute	Gross Torsional Attribute	Net Torsional Quality	Gross Torsional Quality	Net Torsional Quantity	Gross Torsional Quantity	Net Torsional Value	Gross Torsional Value	Net Torsional Cost	Gross Torsional Cost	Net Torsional Price	Gross Torsional Price	Net Torsional Rate	Gross Torsional Rate	Net Torsional Fee	Gross Torsional Fee	Net Torsional Charge	Gross Torsional Charge	Net Torsional Tax	Gross Torsional Tax	Net Torsional Duty	Gross Torsional Duty	Net Torsional Debt	Gross Torsional Debt	Net Torsional Asset	Gross Torsional Asset	Net Torsional Liability	Gross Torsional Liability	Net Torsional Equity	Gross Torsional Equity	Net Torsional Income	Gross Torsional Income	Net Torsional Expense	Gross Torsional Expense	Net Torsional Profit	Gross Torsional Profit	Net Torsional Loss	Gross Torsional Loss	Net Torsional Gain	Gross Torsional Gain	Net Torsional Share	Gross Torsional Share	Net Torsional Stake	Gross Torsional Stake	Net Torsional Interest	Gross Torsional Interest	Net Torsional Dividend	Gross Torsional Dividend	Net Torsional Payout	Gross Torsional Payout	Net Torsional Distribution	Gross Torsional Distribution	Net Torsional Allocation	Gross Torsional Allocation	Net Torsional Assignment	Gross Torsional Assignment	Net Torsional Delegation	Gross Torsional Delegation	Net Torsional Authorization	Gross Torsional Authorization	Net Torsional Approval	Gross Torsional Approval	Net Torsional Consent	Gross Torsional Consent	Net Torsional Agreement	Gross Torsional Agreement	Net Torsional Contract	Gross Torsional Contract	Net Torsional Deal	Gross Torsional Deal	Net Torsional Transaction	Gross Torsional Transaction	Net Torsional Exchange	Gross Torsional Exchange	Net Torsional Transfer	Gross Torsional Transfer	Net Torsional Movement	Gross Torsional Movement	Net Torsional Transport	Gross Torsional Transport	Net Torsional Delivery	Gross Torsional Delivery	Net Torsional Receipt	Gross Torsional Receipt	Net Torsional Shipment	Gross Torsional Shipment	Net Torsional Consignment	Gross Torsional Consignment	Net Torsional Lease	Gross Torsional Lease	Net Torsional Rent	Gross Torsional Rent	Net Torsional Hire	Gross Torsional Hire	Net Torsional Purchase	Gross Torsional Purchase	Net Torsional Sale	Gross Torsional Sale	Net Torsional Trade	Gross Torsional Trade	Net Torsional Buy	Gross Torsional Buy	Net Torsional Sell	Gross Torsional Sell	Net Torsional Offer	Gross Torsional Offer	Net Torsional Bid	Gross Torsional Bid	Net Torsional Ask	Gross Torsional Ask	Net Torsional Quote	Gross Torsional Quote	Net Torsional Estimate	Gross Torsional Estimate	Net Torsional Proposal	Gross Torsional Proposal	Net Torsional Plan	Gross Torsional Plan	Net Torsional Program	Gross Torsional Program	Net Torsional Project	Gross Torsional Project	Net Torsional Task	Gross Torsional Task	Net Torsional Job	Gross Torsional Job	Net Torsional Work	Gross Torsional Work	Net Torsional Activity	Gross Torsional Activity	Net Torsional Operation	Gross Torsional Operation	Net Torsional Process	Gross Torsional Process	Net Torsional Function	Gross Torsional Function	Net Torsional Service	Gross Torsional Service	Net Torsional Support	Gross Torsional Support	Net Torsional Assistance	Gross Torsional Assistance	Net Torsional Help	Gross Torsional Help	Net Torsional Aid	Gross Torsional Aid	Net Torsional Relief	Gross Torsional Relief	Net Torsional Rescue	Gross Torsional Rescue	Net Torsional Save	Gross Torsional Save	Net Torsional Protect	Gross Torsional Protect	Net Torsional Secure	Gross Torsional Secure	Net 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Torsional Forward-time	Gross Torsional Forward-time	Net Torsional Backward-time	Gross Torsional Backward-time	Net Torsional Upward-time	Gross Torsional Upward-time
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PLAN - ROOF



2 PLAN - GROUND FLOOR
1/4" = 1'-0"

3 WINDOW SCHEDULE
NO SCALE

LEGEND:

- ===== NEW YORK STATE ROUTE
- ===== ROUTE OF TRUCKS, BUSES, ETC.
- ST VEHICLE STOPS - REFERS TO VEHICLE SCHEDULES
- ST BUS STOP/STATION/TERMINUS (SEE 100-0000)
- ST BUS STOP - REFERS TO BUS SCHEDULES
- ST BUS STOP - 100-0000

A handwritten signature in blue ink is written across a circular official stamp. The stamp contains some illegible text and a central emblem. To the right of the stamp, there is a vertical date stamp that reads "4 February 2009".

HQ LLC
 1912 7th Street, Third Floor
 Boulder, Colorado 80502
 720.301.2990
info@hql.com

Lazy K Lot 6
Lazy K, Gunnison CO

11 December 2021

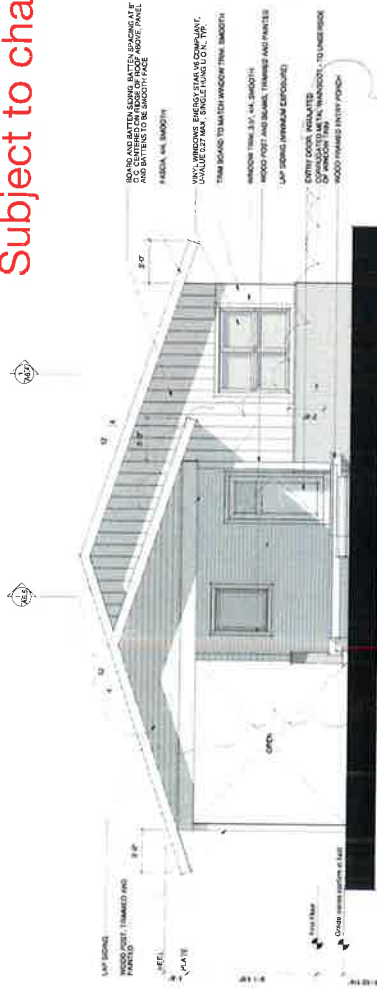
revisions:

- 1 Window rough openings
21 December 2021
- 2 VE Revisions
4 February 2022

FLOOR PLANS	drawing scale	AS NOTED
	drawing number	

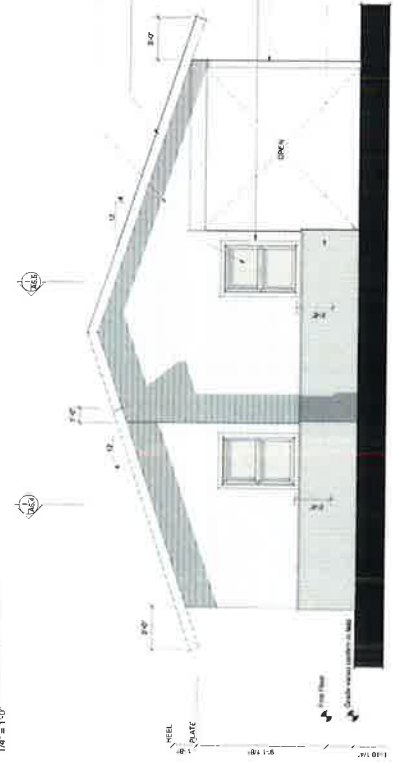
A3.1

Preliminary Plans are
Subject to change



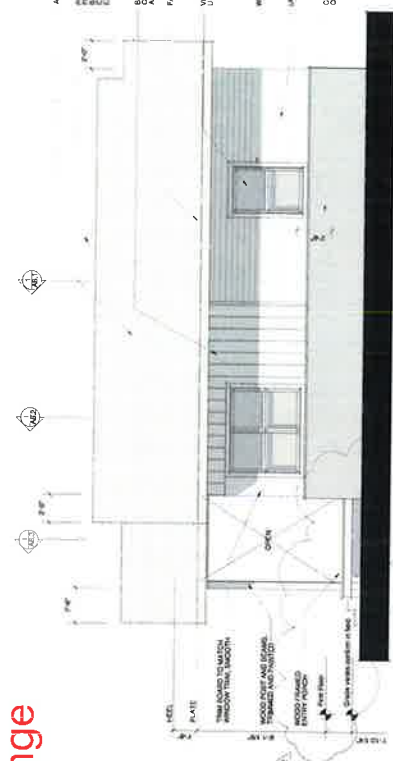
1 NORTH ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE



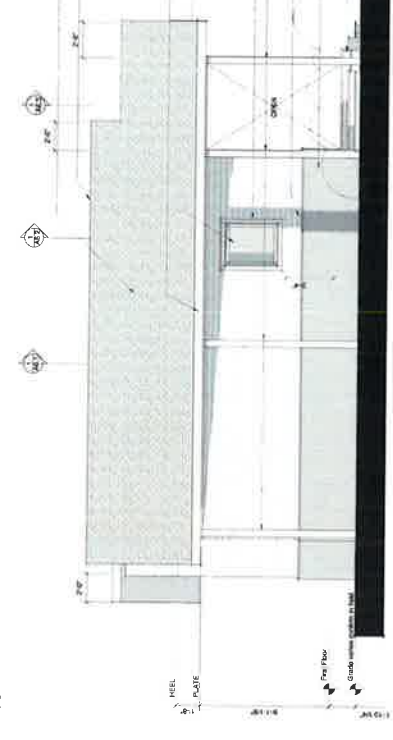
2 SOUTH ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE



3 WEST ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE



4 EAST ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE



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iVD
1913 7th Street, Third Floor
San Francisco, CA 94107
772 331 0000
www.ivd.com

4 February 2022

project

Lazy K Lot 6
Lazy K, Gunnison CO

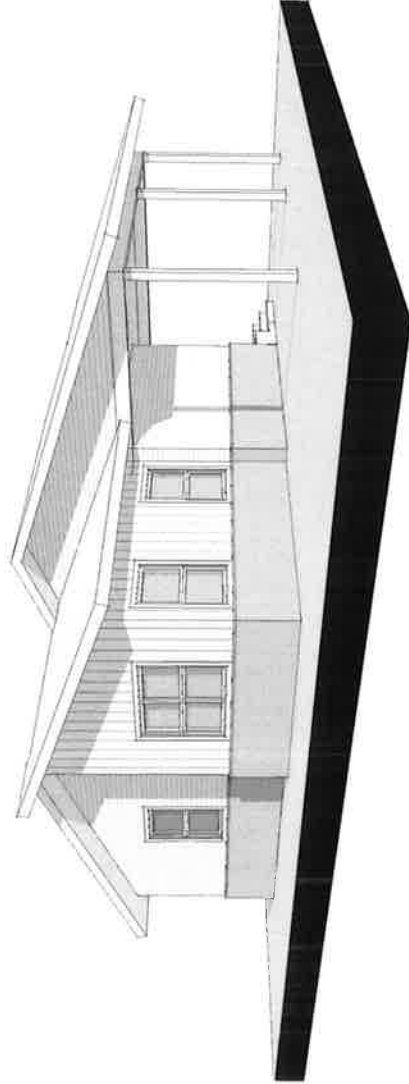
issue date:
11 December 2021
revision:
2 4 February 2022

drawing title

ELEVATIONS

drawing scale AS NOTED
drawing number

A5.1



Lazy K Lot 8

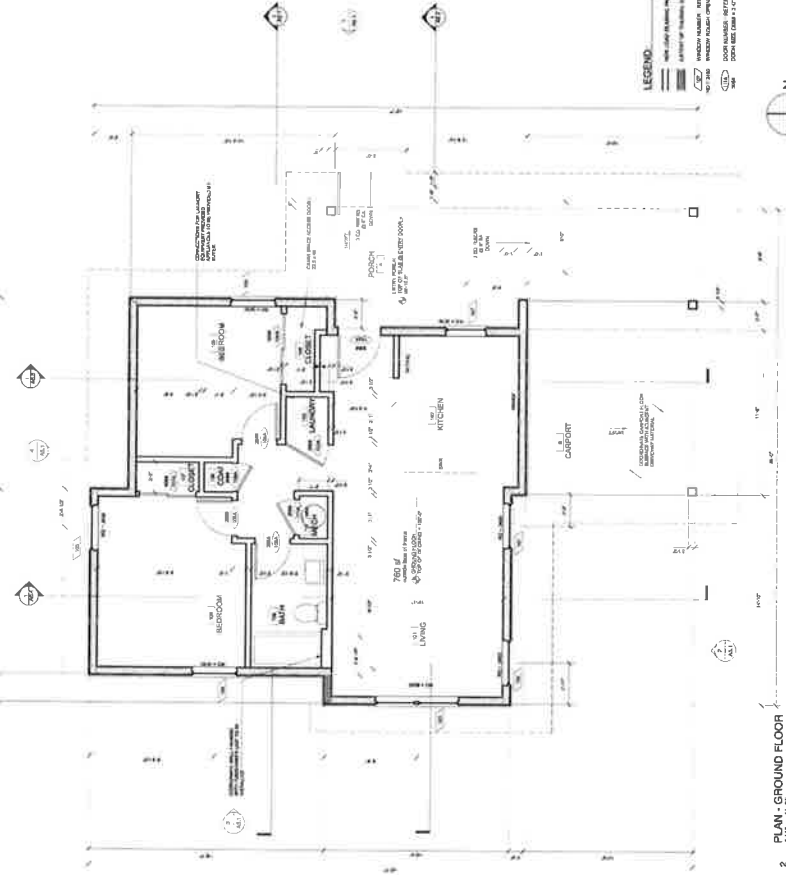
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8 February 2022

AO.0

WINDOW TYPE:
LAZY (HASH)



2 PLAN - GROUND FLOOR

JVO LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
jvo@jvofund.com

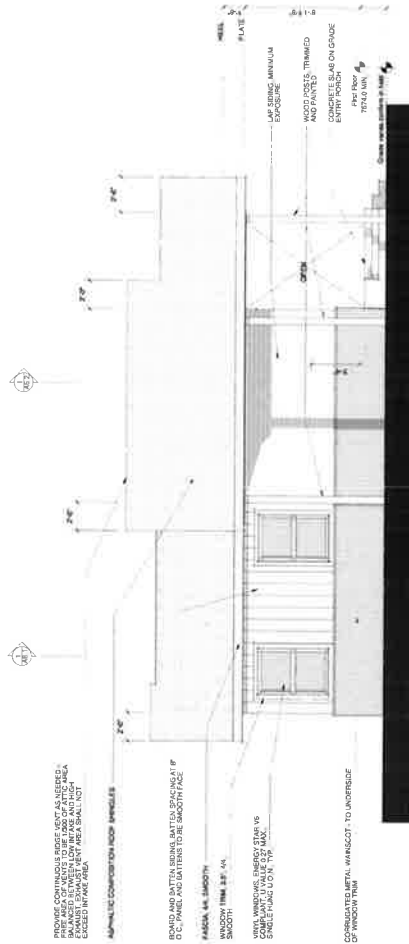
project

issue date:
8 February 2022

revisions:

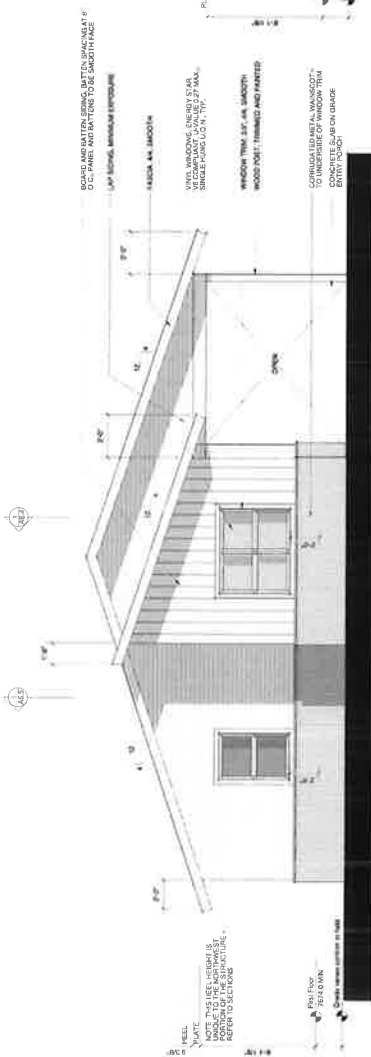
A3.1

drawing title



ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

3 SOUTH ELEVATION
1/4" = 1'-0"



ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

4 NORTH ELEVATION
1/4" = 1'-0"

2 WEST ELEVATION
1/4" = 1'-0"

used & signature



All portions of this document represent design that only the engineering professional engineer is responsible for. The engineer's responsibility is limited to the design and construction of the project as shown on the drawings and specifications. The engineer is not responsible for the construction of the project or for the safety of the project.



project

Lazy K Lot 8
Lazy K, Gunnison CO

drawing title

Issue Date:
8 February 2022

ELEVATIONS

drawing scale AS NOTED
drawing number

A5.1